

FOR SALE - LICENSED PREMISES

THE AVIARY BAR, 3 OLD MARKET PLACE, OMAGH, BT78 1BT

CBRE NI

PART OF THE AFFILIATE NETWORK



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## Key Benefits

- Prominent town centre location
- Premises can be purchased with or without the 5(1) (a) liquor licence
- Potential for alternative uses including residential subject to planning

## Location

Omagh is an important provincial market town and the county town of County Tyrone. It is located approximately 68 miles west of Belfast and 33 miles south of Derry-Londonderry. The towns catchment is strengthened by its close proximity to the Republic of Ireland (Donegal town 40 miles and Letterkenny 36 miles respectively) and benefits from cross border trade.

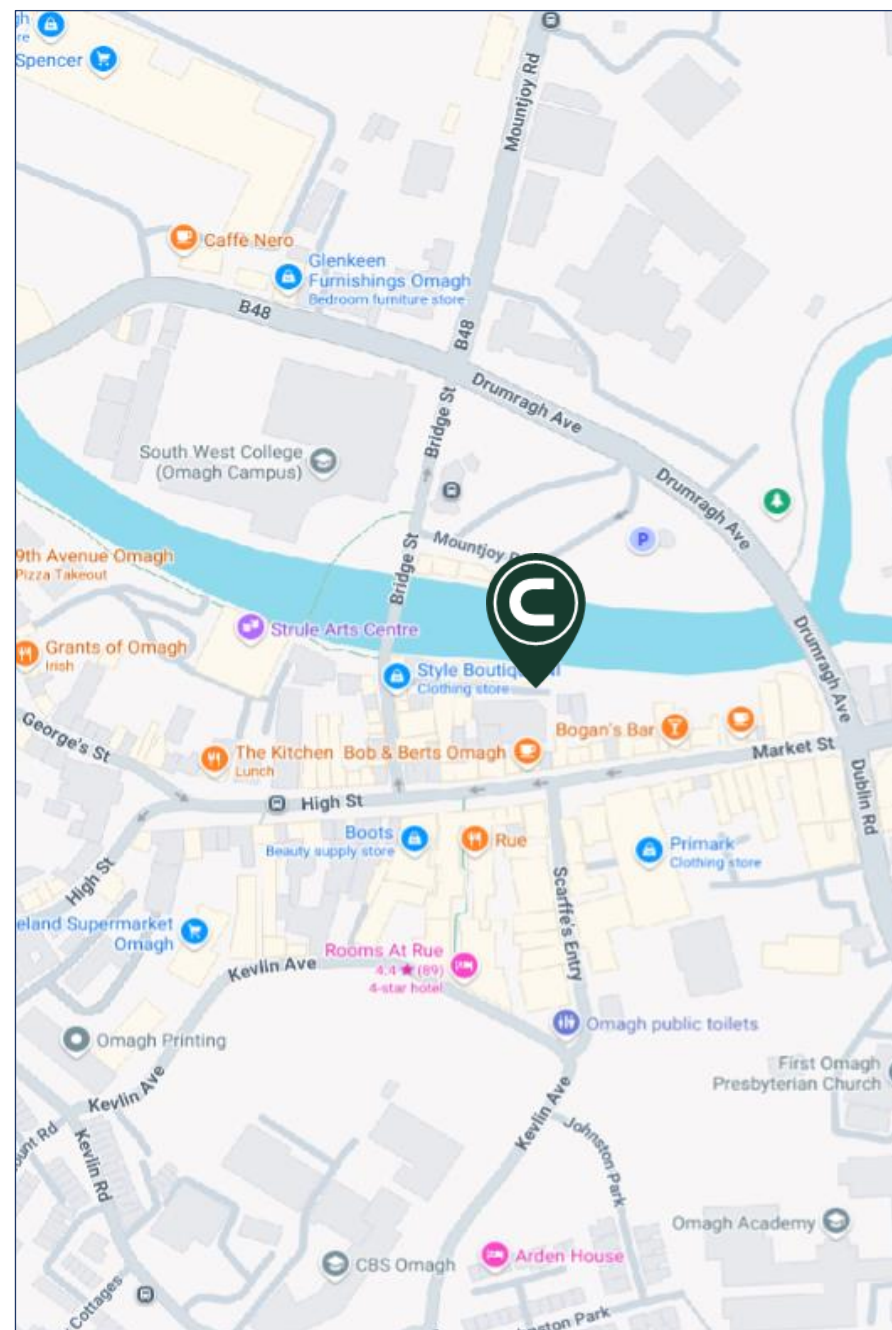
The population of the Omagh District Electoral Area as at the 2021 census was approximately 18,480 people. The town benefits from excellent road communications being situated on the A5 which links Derry-Londonderry to the north and Belfast to the east via the M1 motorway.

## Description

The premises comprises an extensive two storey town centre building which previously provided a public bar on the ground floor and nightclub on the first floor. Internally, both the ground floor and first floor are finished to a good standard throughout.

## Development / Refurbishment Potential

The former public house is still currently fitted as a licensed premises and could re-open as a bar, restaurant or nightclub subject to a license. The building would potentially be suitable for a variety of commercial uses subject to planning.



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## Accommodation

Floor	Area ( Sq Ft)	Area (Sq M)
Ground	2,069	192.30
First	2,698	250.72
<b>Total</b>	<b>4,767</b>	<b>443.02</b>

## Site Area

	Acres	Hectares
Site Area	0.1	0.04

## Sales Proposal

We are instructed to seek offers in the region of £500,000.

## VAT

All prices are quoted exclusive of VAT, which may be payable.

## Rateable Value

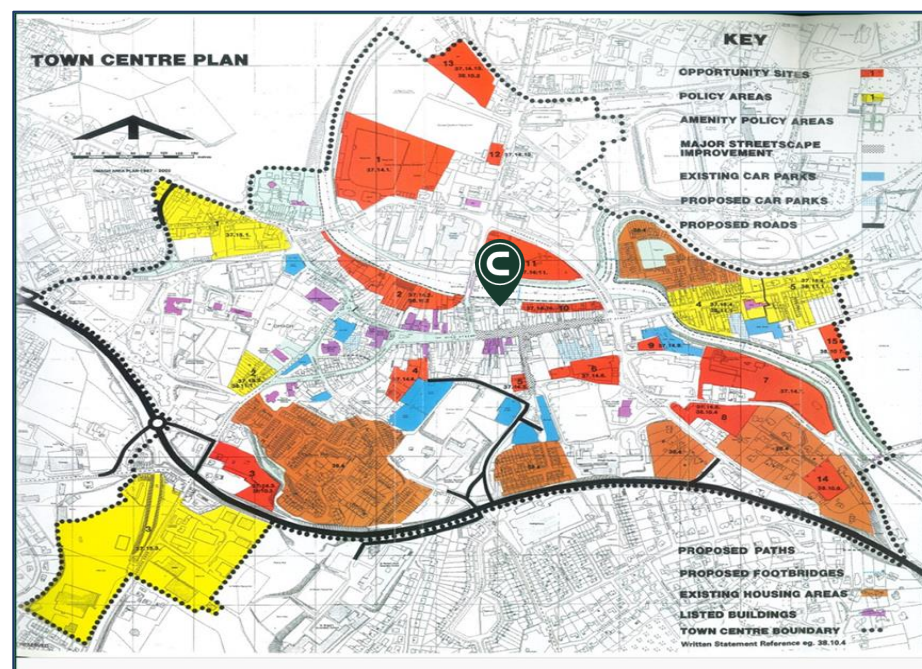
We have been advised by Land and Property Services that the estimated rateable value is £19,200. The rate in the £ for 2024/25 is £0.5459 therefore, the estimated rates payable are £10,481.28.

## AML

CBRE NI are required to obtain evidence of the identity and proof of address of potential purchasers/tenants as part of the mandatory anti-money laundering checks. .

## Zoning

As set out in the Omagh Area Plan 2002, the town centre site is not zoned for a particular use.



## EPC

The building has been rated as C68 under EPC regulations. A copy is available upon request.

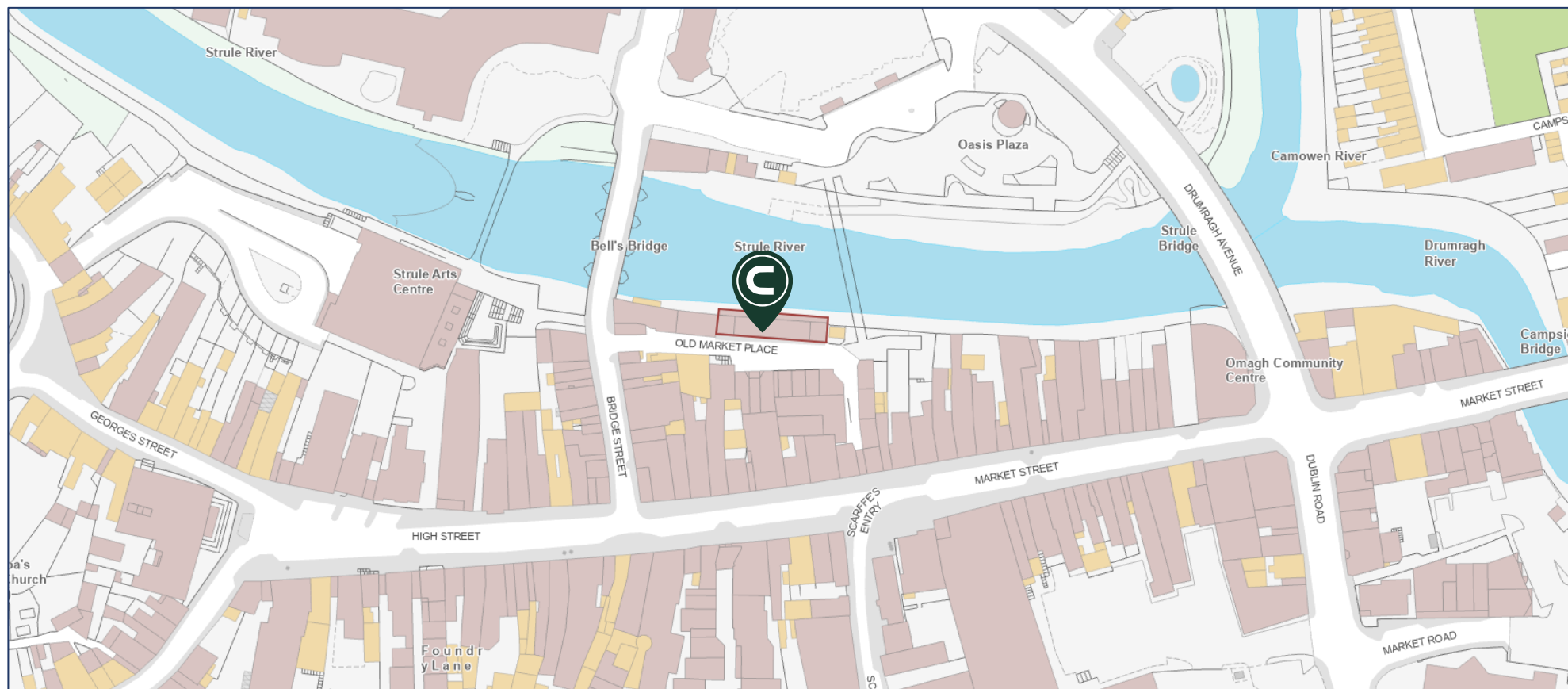
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