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4 SOLITUDE MEADOWS

Kilmore Road Lurgan BT67 9GP



Offers around
£510,000







Description:

This very handsome and exclusive detached residence simply personifies an architectural elegance with its attention to detail and to its scale and geometric elevations to gracefully recreate a modern home with all the charms of a period country house.

The property takes full advantage of a wonderfully sophisticated development of stunning homes set in the mature grounds of the original Solitude Demesne, having the maturity of a parkland style environment and forming a magnificent backdrop to its spacious rear gardens.

The interior of the home harmonises with its exclusive design and embraces an exceptional quality of finish and standard of specification that would only be expected from any discerning purchaser. Kilmore Road is synonymous with an array of exclusive homes, convenient to Lurgan town with all its amenities as well as highly regarded schools and colleges. Viewing a must!

Features:

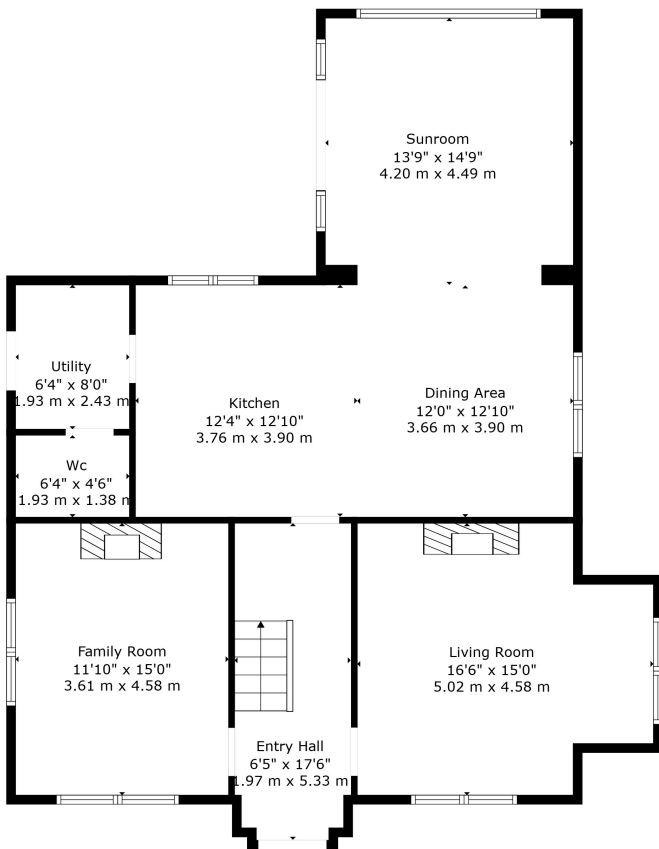
- Stunning detached exclusive residence with detached garage
- Impressive traditional style front door and double glazed top light
- Attractive hallway with a spindled staircase to the first floor accommodation
- Elegant living room and family room with bespoke carpentry and impressive fireplaces
- Beautifully designed open plan kitchen with dining area and sun room creating a wonderful living space to the rear of the home
- Bespoke fitted kitchen and ample high and low level units finished in a traditional style with quartz work tops, built in larder cupboard as well as a matching island unit with storage. Built in oven and inset hob with extractor fan above, an integrated fridge and dish washer
- Spacious sun room to the rear with a large picture window and doors to the rear gardens
- Separate utility room with matching high and low level units with door to the rear
- Downstairs cloak room with WC and wash hand basin
- Four generous bedrooms, master bedroom with ensuite shower room
- Bedroom 4 presently used as a dressing room with bespoke fitted bedrooms units
- Bathroom with a truly elegant and traditional white suite including a free stander period style slipper bath, WC and wash hand basin as well as a separate shower cubicle
- Neat garden laid out extensively in lawns with some existing mature trees. Patio area for summer entertaining
- Oil fired central heating
- PVC double glazed windows including some sliding sash traditional style windows frames
- Spacious driveway and parking

Score	Energy rating	Current	Potential
92+	A		
81-91	B		
69-80	C	73 C	73 C
55-68	D		
39-54	E		
21-38	F		
1-20	G		

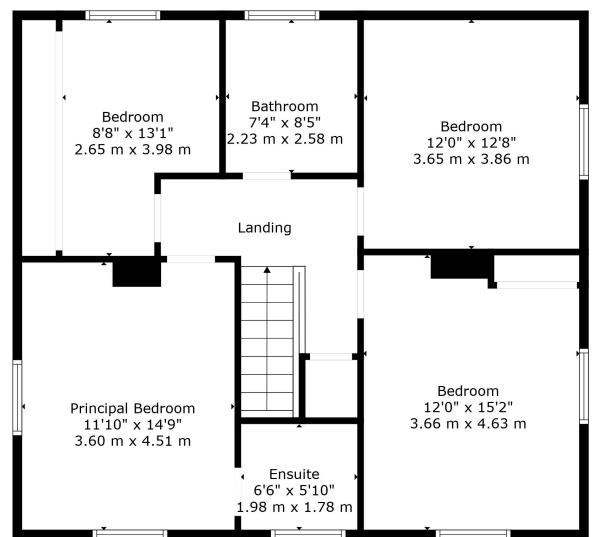
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Floor 1



Floor 2

TOTAL: 2007 sq. ft, 186 m2
 FLOOR 1: 1132 sq. ft, 105 m2, FLOOR 2: 875 sq. ft, 81 m2

Sizes And Dimensions Are Approximate. Actual May Vary.

