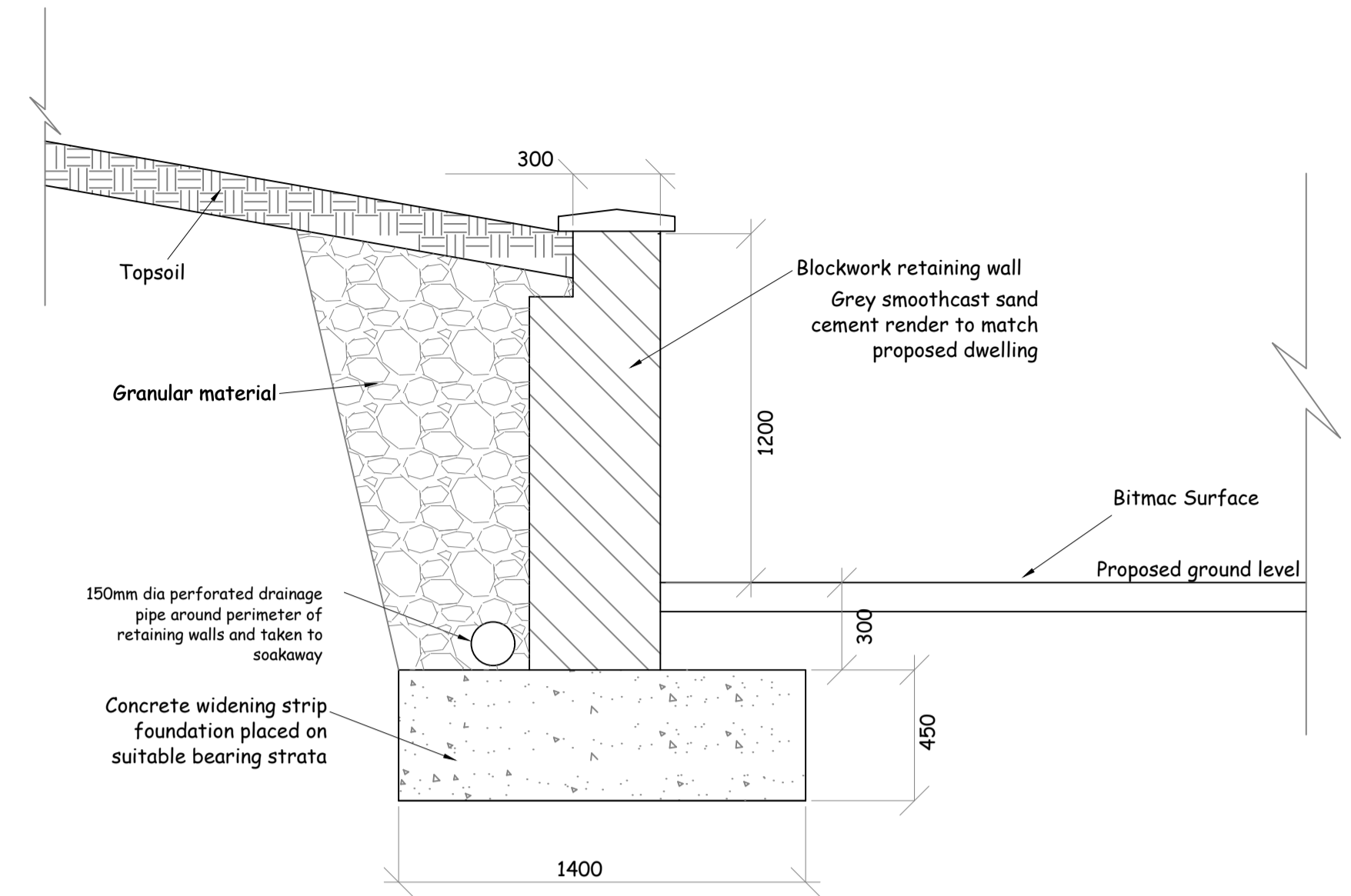
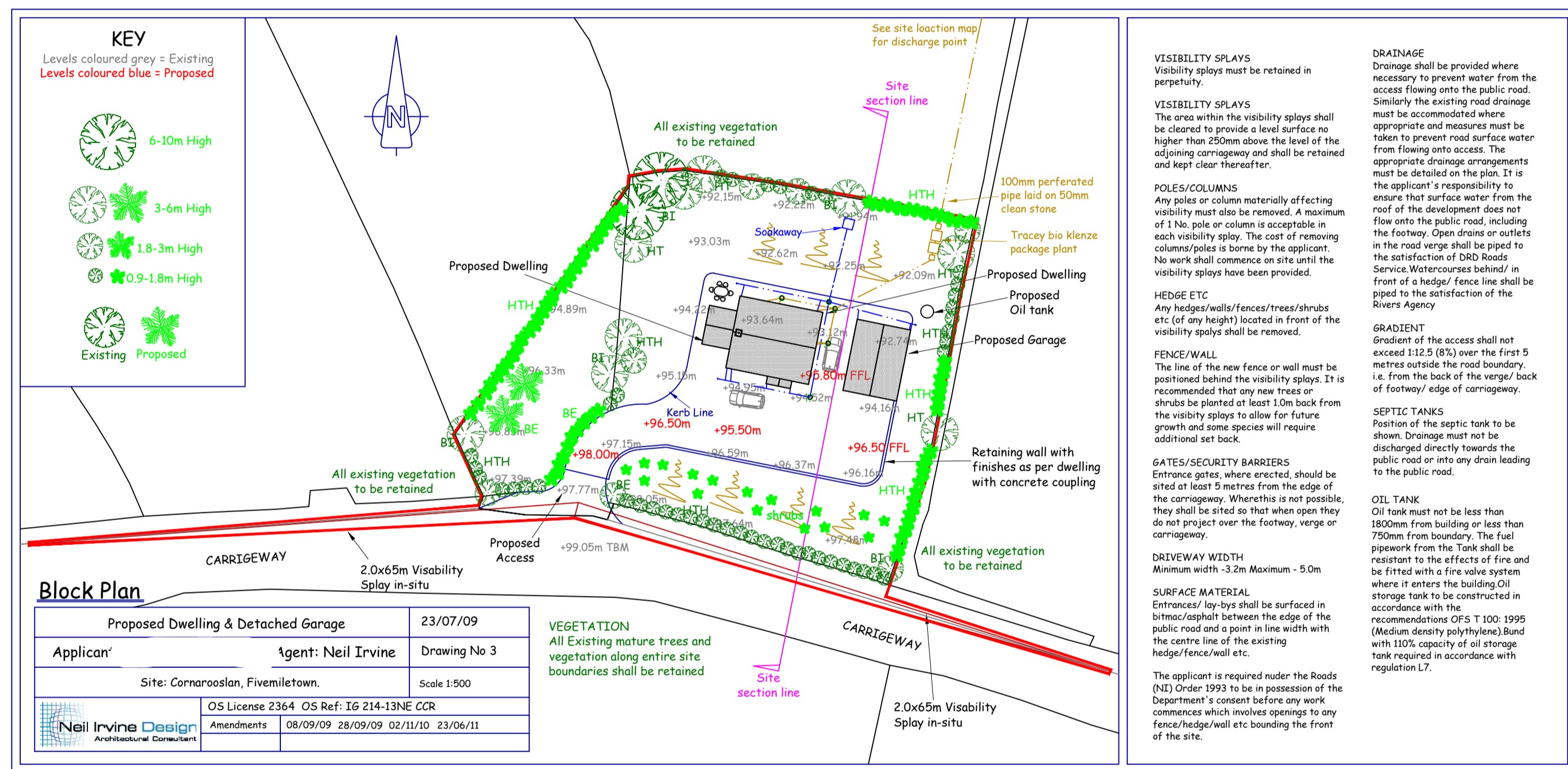


Site Section 1:100



RETAINING WALL  
SCALE 1:20



**VISIBILITY SPLAYS**  
Visibility splays must be retained in perpetuity.

**VISIBILITY SPLAYS**  
The area within the visibility splay shall be cleared to provide a level surface no higher than 250mm above the level of the adjoining carriageway and shall be retained and kept clear thereafter.

**POLES/COLUMNS**  
Any poles or column material affecting visibility must also be removed. A maximum of 1 No. pole or column is acceptable in each visibility splay. The cost of removing columns/poles is borne by the applicant. No work shall commence on site until the visibility splays have been provided.

**HEDGE ETC**  
Any hedges/walls/fences/trees/shrubs etc (of any height) located in front of the visibility splays shall be removed.

**FENCE/WALL**  
The line of the new fence or wall must be positioned behind the visibility splays. It is recommended that any new trees or shrubs be planted at least 1.0m back from the visibility splays to allow for future growth and some species will require additional set back.

**GATES/SECURITY BARRIERS**  
Entrance gates, where erected, should be sited at least 5 metres from the edge of the carriageway. Where this is not possible, they shall be sited so that when open they do not project over the roadway, verge or carriageway.

**DRAINAGE**  
Drainage shall be provided where necessary to prevent water from the access flowing onto the public road. Similarly the existing road drainage must be accommodated where appropriate and measures must be taken to prevent road surface water from flowing onto access. The appropriate drainage arrangements must be detailed on the plan. It is the applicant's responsibility to ensure that surface water from the roof of the development does not flow onto the public road, including the footway. Open drains or outlets in the road verge shall be piped to the satisfaction of D&D Roads Service. Watercourses behind/in front of a hedge/fence line shall be piped to the satisfaction of the Rivers Agency.

**GRADIENT**  
Gradient of the access shall not exceed 1:12.5 (8%) over the first 5 metres outside the road boundary i.e. from the back of the verge/ back of footway/ edge of carriageway.

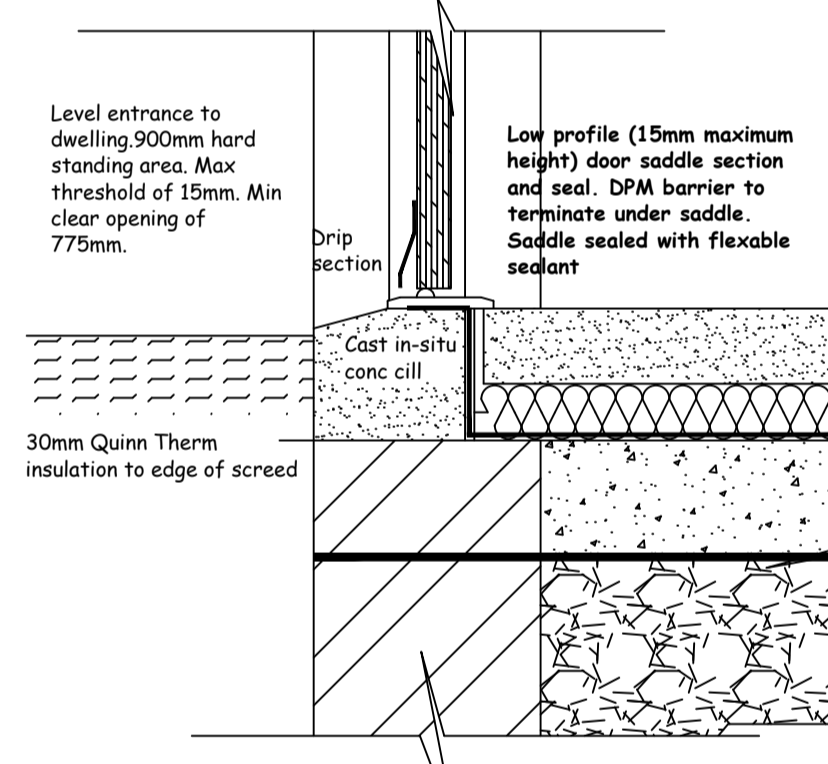
**SEPTIC TANKS**  
Position of the septic tank to be shown. Drainage must not be discharged directly towards the public road or into any drain leading to the public road.

**OIL TANK**  
Oil tank must not be less than 1800mm from building or less than 750mm from boundary. The fuel pipework from the Tank shall be resistant to the effects of fire and be fitted with a fire valve system where it enters the building. Oil storage tank to be constructed in accordance with the recommendations of S T 100: 1995 (Medium density polyethylene) and with 100% capacity of oil storage tank required in accordance with regulation 17.

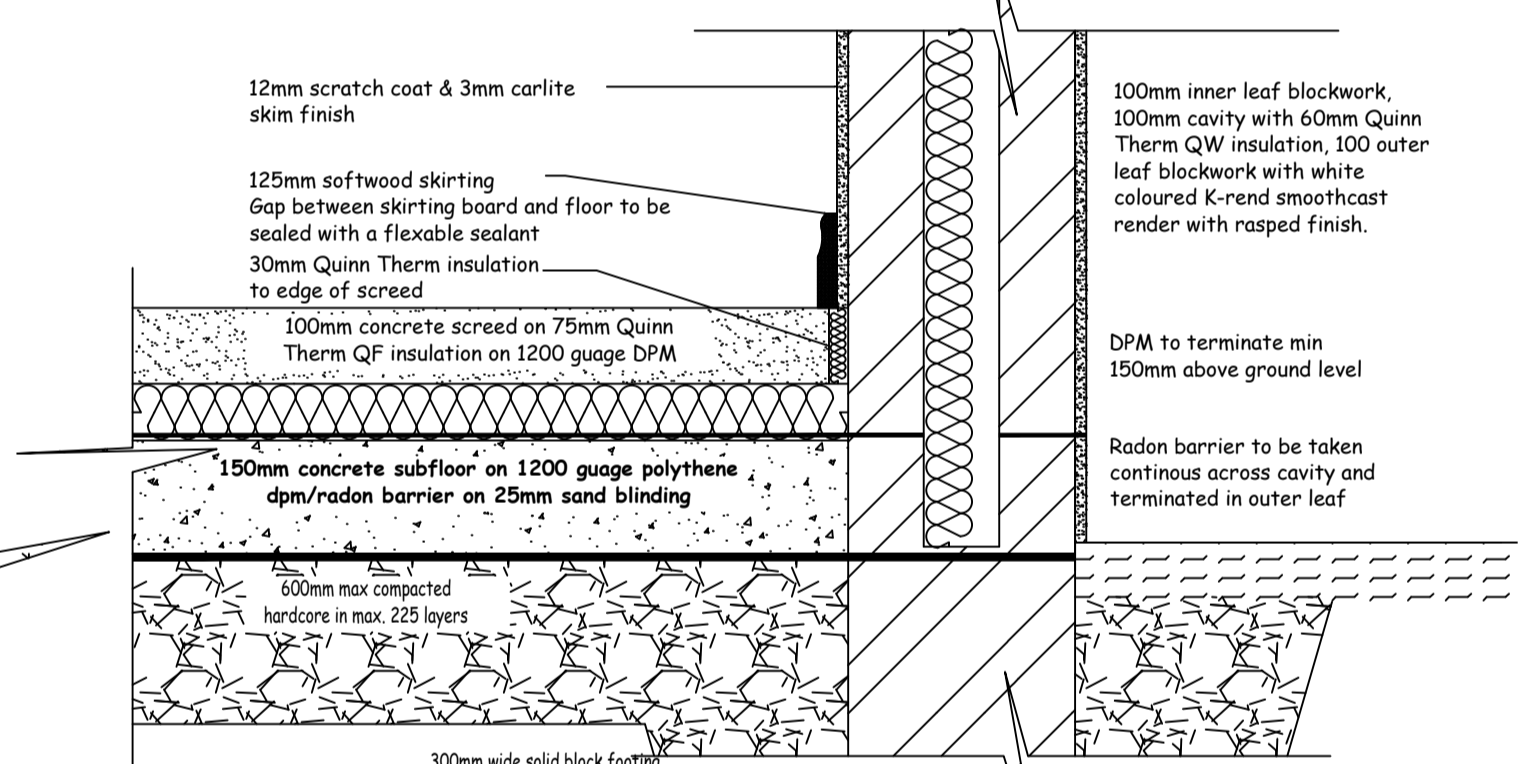
**SURFACE MATERIAL**  
Entrances/lay-bys shall be surfaced in bitmac/asphalt between the edge of the public road and a point in line with the centre line of the existing hedge/fence/wall etc.

**DREWEYWAY WIDTH**  
Minimum width - 3.2m Maximum - 5.0m

**VEGETATION**  
All Existing mature trees and vegetation along entire site boundaries shall be retained.



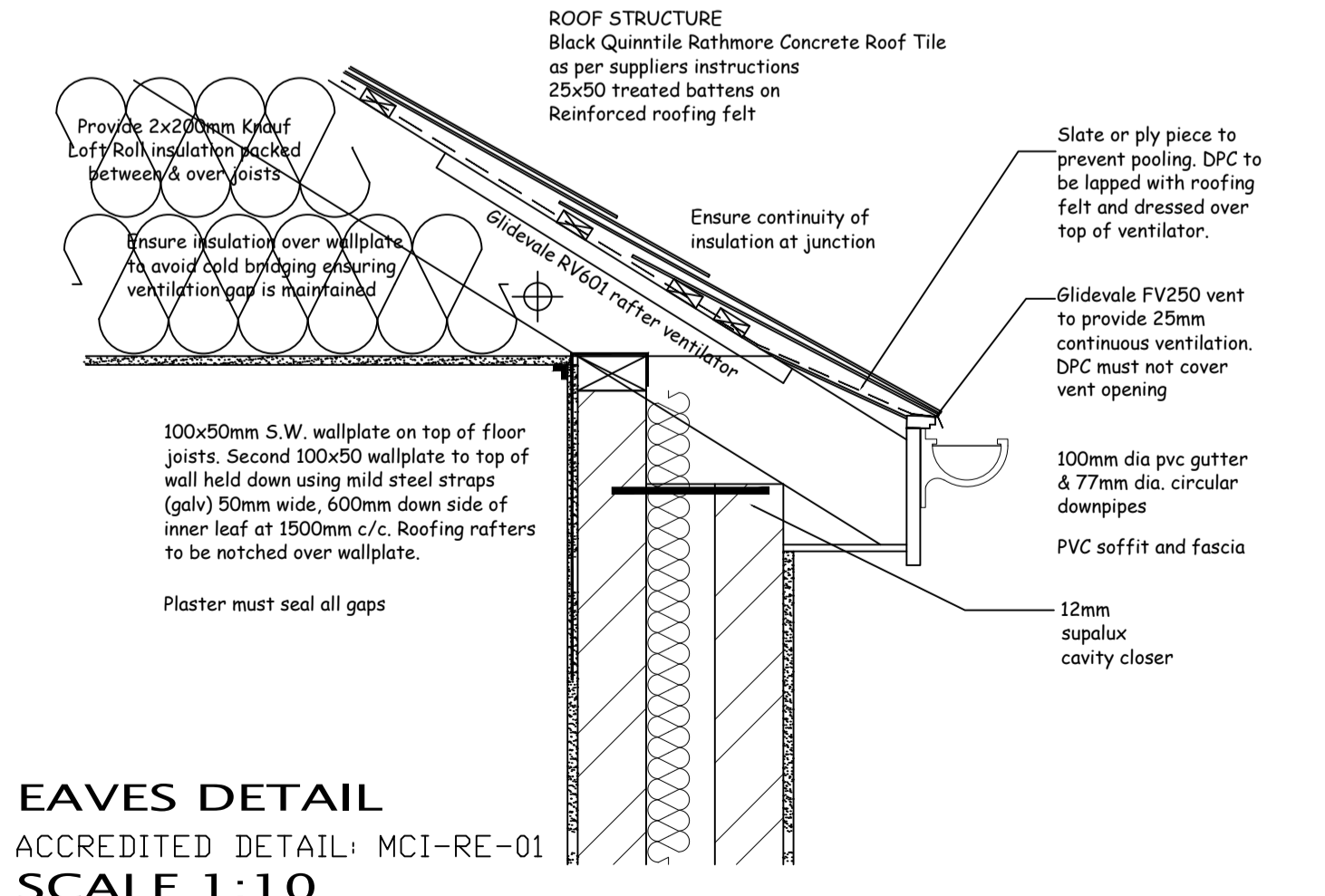
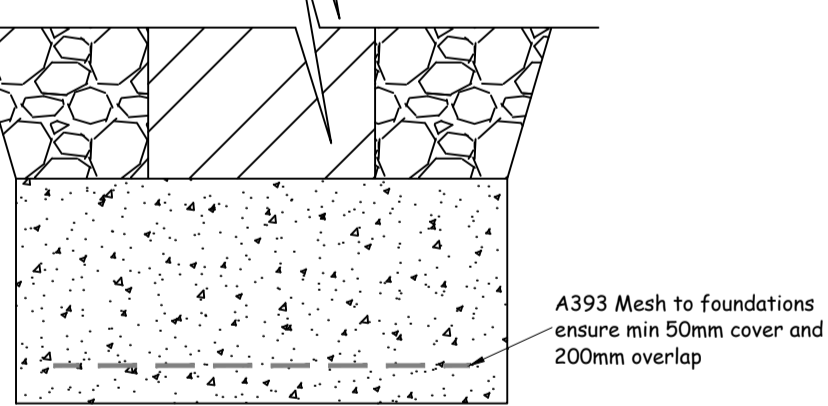
THRESHOLD DETAIL  
SCALE 1:10



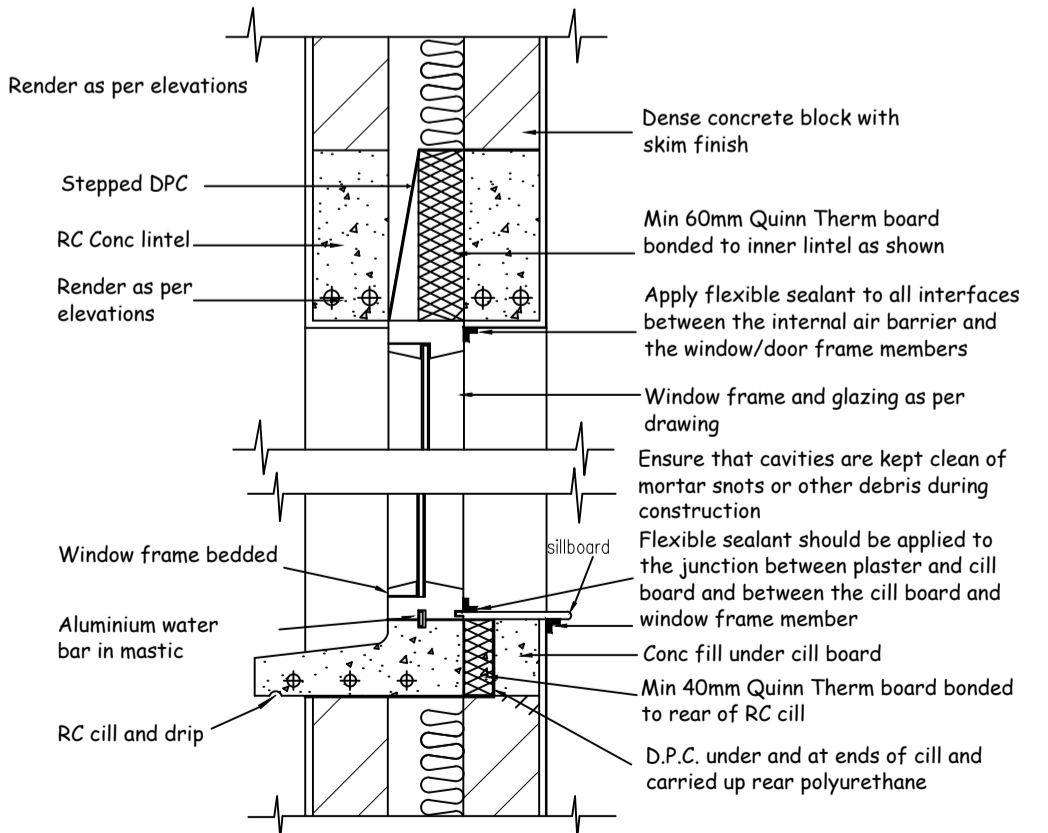
FOUNDATION DETAIL  
SCALE 1:10

ACCREDITED DETAIL: MCI-GF-02

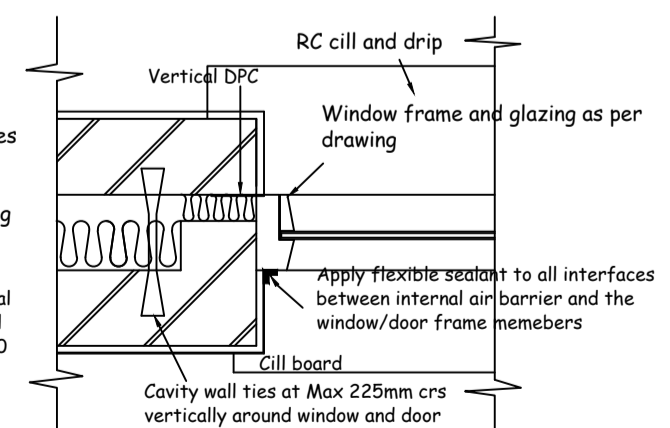
Strip foundation. Level depends on level of firm clay



EAVES DETAIL  
ACCREDITED DETAIL: MCI-RE-01  
SCALE 1:10



DETAIL THRO.' CILL & HEAD  
scale : 1/10  
ACCREDITED DETAILS: MCI-WD-04 & MCI-WD-02



DETAIL THRO.' JAMB.  
scale : 1/10

ACCREDITED DETAIL: MCI-WD-06

Site Section and Maps	
Proposed Dwelling and Detached Garage	Date: 18/06/09
Agent: Neil Irvine	Drawing No 2
Site: Carnarooslan, Fivemiletown.	Scale 1:100 1:10 1:500
Amendments:	27/07/09 03/08/09 10/08/09 11/08/09 08/09/09 28/09/09 02/11/10 23/06/11
Neil Irvine Design Architectural Consultant	