



485 Lisburn Road, Belfast, BT9 7EZ
Tel: 02890 661111
Email: info@fetherstons.com
Web: www.fetherstons.com

11 Ballantine Way

Lisburn
BT27 5FQ

Offers Over £324,950

11 BALLANTINE WAY, BT27 5FQ

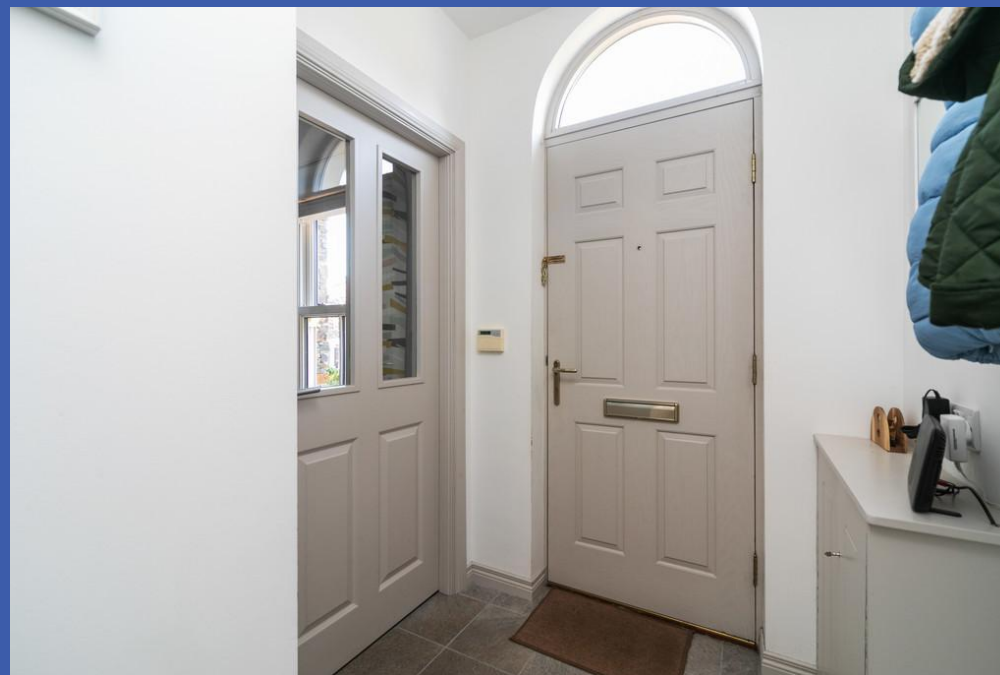
- Substantial Detached Property in Popular and Established Modern Development
- Four Bedrooms (Master Ensuite)
- Excellent Open Plan Living / Dining / Kitchen With Feature Vaulted Ceiling
- High Specification Fitted Kitchen With Range Of Integrated Appliances
- Lounge With Decorative Fireplace
- Family Bathroom, Master Bedroom Ensuite And Ground Floor WC
- Utility Room / Gas Fired Central Heating / Double Glazed Windows
- Enclosed Rear Garden And Driveway Car Parking
- Prime Location Convenient to Many Local Amenities/Convenient to M1 & A1 Road Networks

This superb detached property is ideally located within the prestigious and much sought after Ballantine Garden Village development. The flexible accommodation will suit a host of potential purchasers.

The property is presented to the highest level of specification as the current owners have extensively enhanced the original finish. This can particularly be noticed in the kitchen and bathrooms which all have a contemporary modern look.

This home is situated in a convenient location close to Lisburn and Belfast and within commuting distance of many areas, including Dublin, via the M1 Motorway network.

Internal inspection is highly recommended.







PROPERTY COMPRISES

Composite entrance door with glazed fan light, leading to entrance hall.

ENTRANCE HALL Tiled floor, stairs to first floor.

LOUNGE 17' 8" x 13' 1" (5.41m x 4.01m) (@ widest points) Decorative feature fireplace, under stairs storage cupboard.

OPEN PLAN KITCHEN / LIVING / DINING AREA 23' 1" x 11' 10" (7.05m x 3.63m) Range of fitted high and low level units, wood effect work surfaces, integrated 4 ring gas hob, stainless steel under oven, stainless steel extractor fan, integrated dishwasher, tiled splashback, single drainer stainless steel sink unit, pantry store cupboard, feature vaulted ceiling over living area, patio doors to rear garden, Velux skylight, recessed low voltage spotlights.

UTILITY ROOM 5' 11" x 4' 7" (1.82m x 1.4m) Gas fired boiler, low level units, wood effect work surfaces, plumbed for washing machine, door to side.

GROUND FLOOR WC Low flush WC, wall mounted wash hand basin, tiled splashback, recessed low voltage spotlights.

FIRST FLOOR LANDING Stairs to second floor.

BATHROOM Contemporary roll top bath, enclosed shower cubicle, wall mounted wash hand basin, tiled splashback, low flush WC, recessed low voltage spotlights, extractor fan.





BEDROOM 14' 7" x 9' 7" (4.46m x 2.93m)

BEDROOM 14' 7" x 9' 7" (4.47m x 2.93m)

BEDROOM/STUDY 8' 5" x 6' 11" (2.58m x 2.12m)

SECOND FLOOR LANDING Hot press with built in shelving.

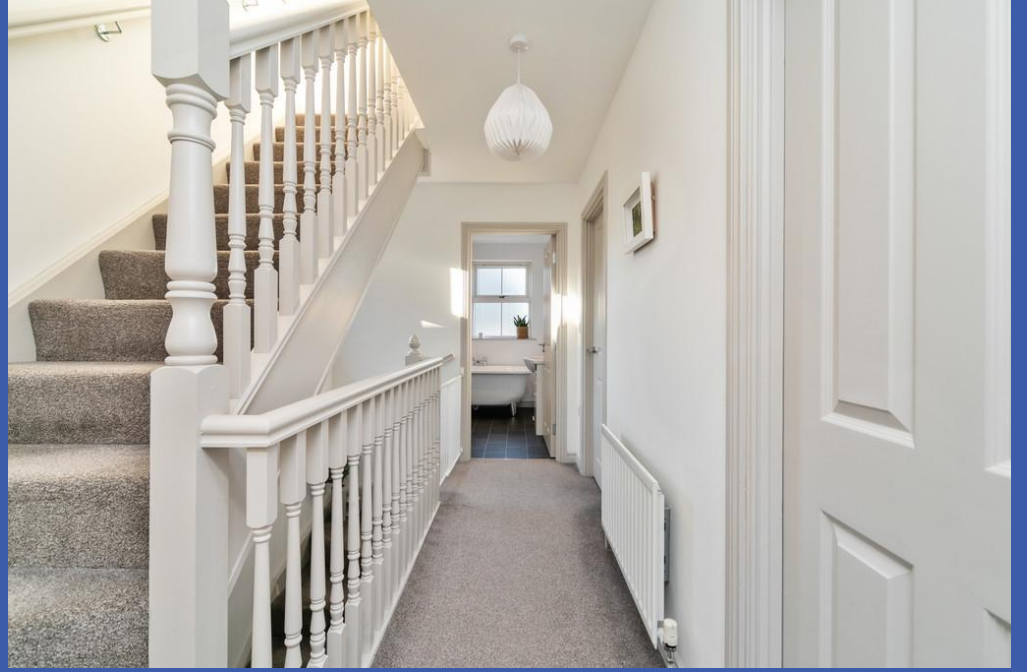
MASTER BEDROOM 24' 9" x 13' 2" (7.56m x 4.03m) (@ widest points) Velux skylight, access to eaves storage, access to roof space.

ENSUITE SHOWER ROOM Enclosed shower cubicle, low flush WC, wall mounted wash hand basin, stainless steel towel radiator, Velux skylight, recessed low voltage spotlights, extractor fan.

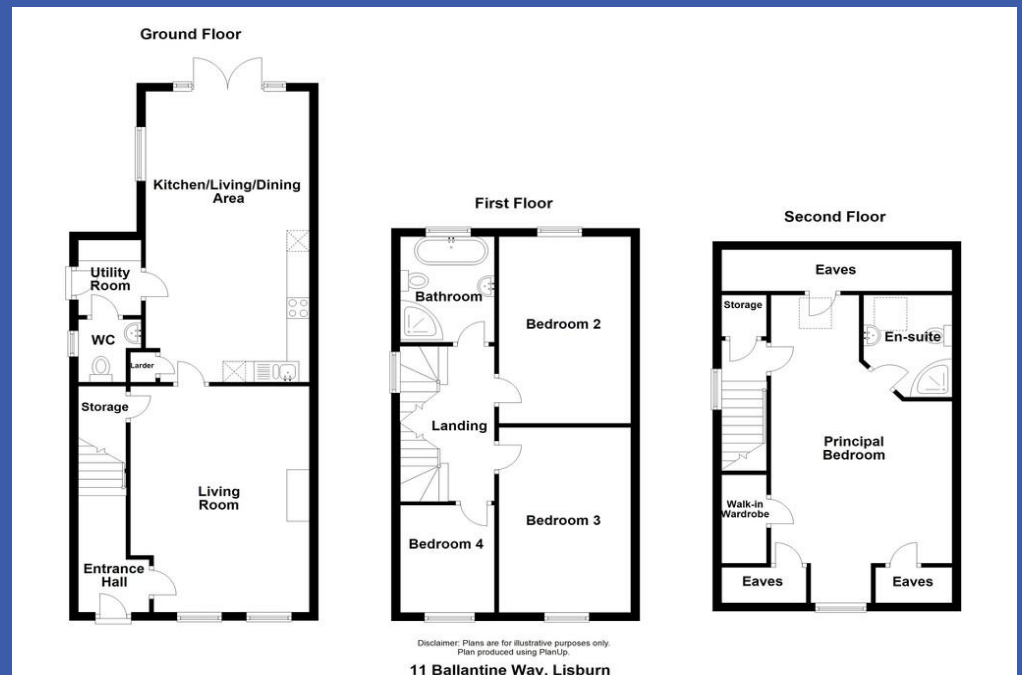
OUTSIDE Driveway with brick paviour parking. Enclosed rear garden with patio area, lawns and flowerbeds, outside light and tap.

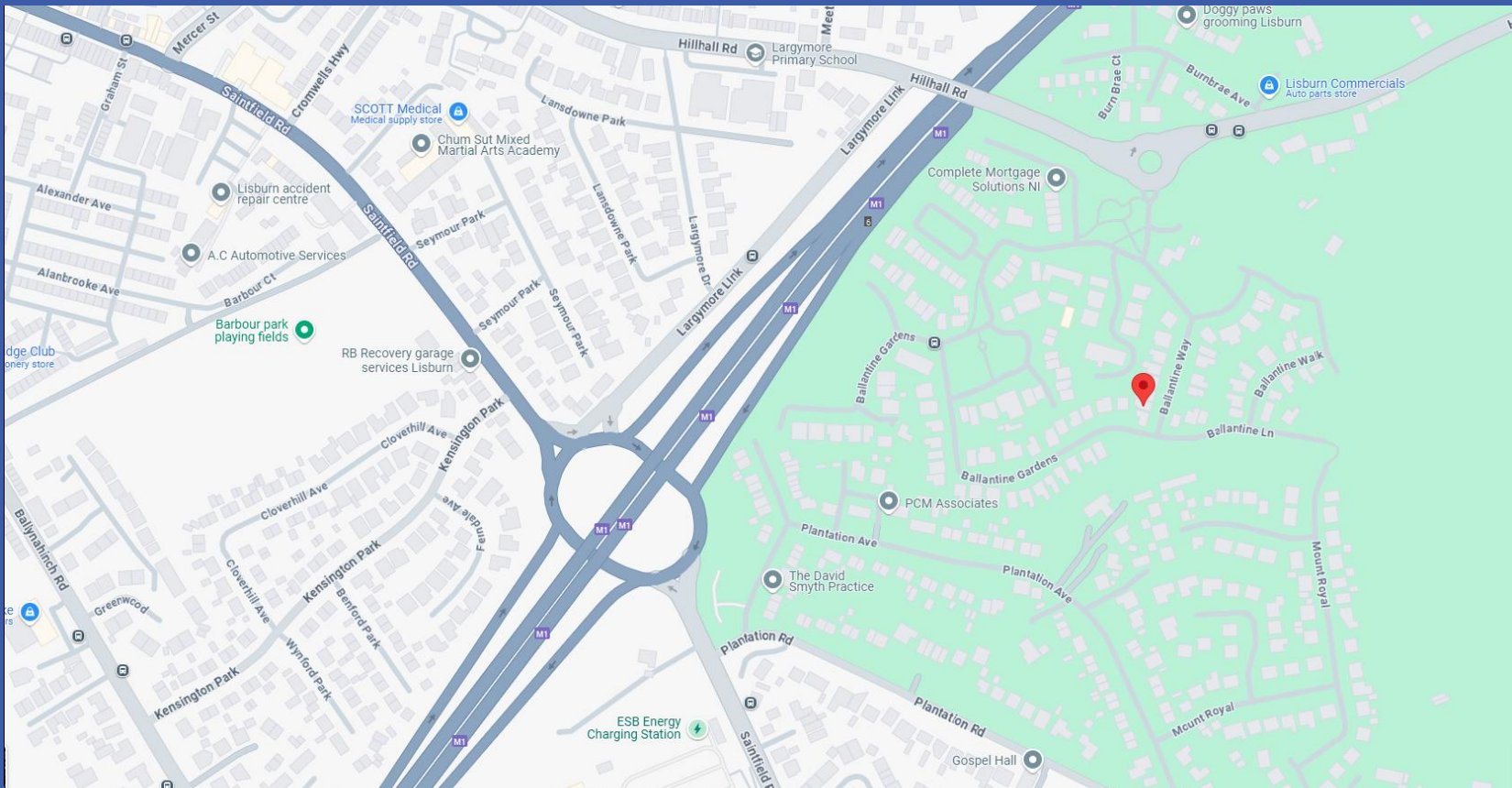












Score	Energy rating	Current	Potential
92+	A		
81-91	B	B1 B	B1 B
69-80	C		
55-68	D		
39-54	E		
21-38	F		
1-20	G		



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