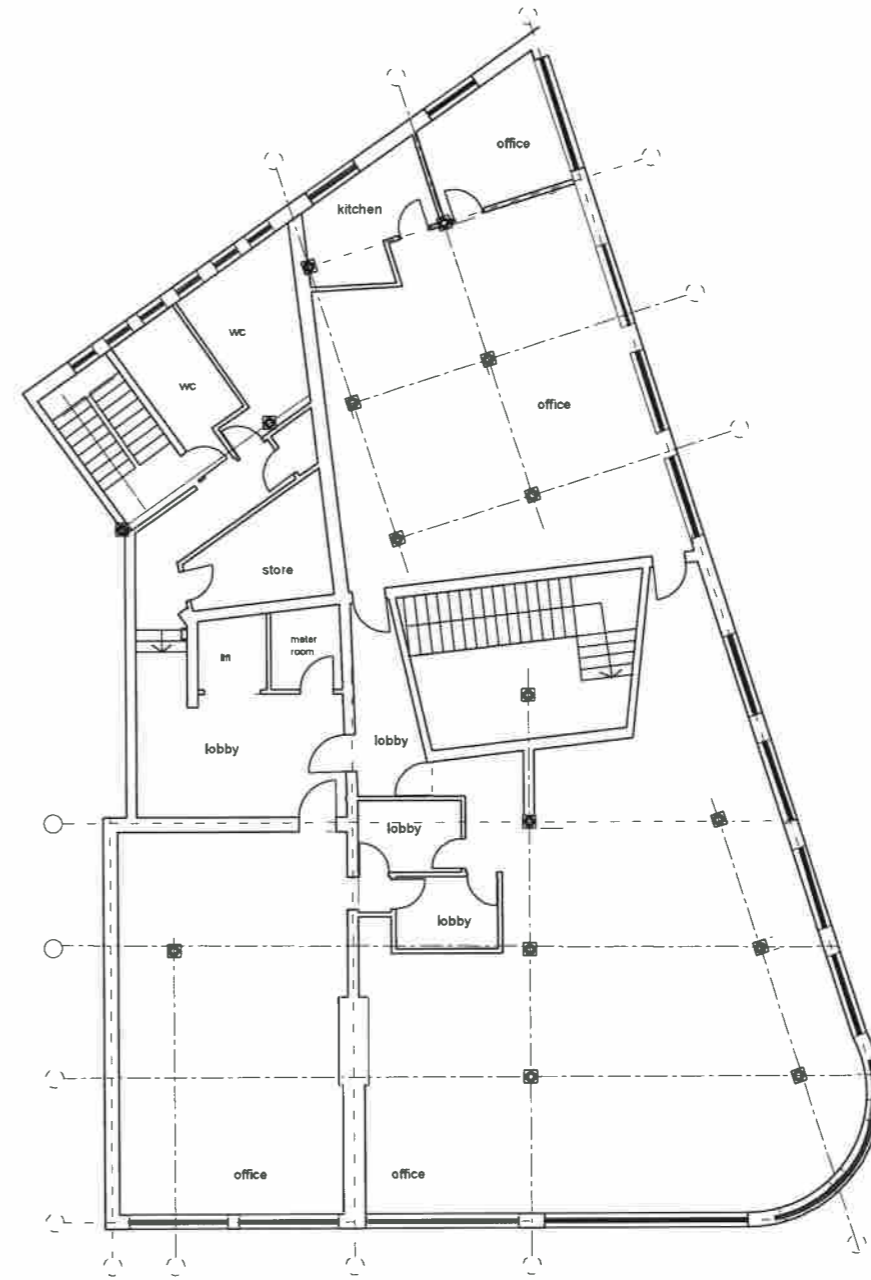


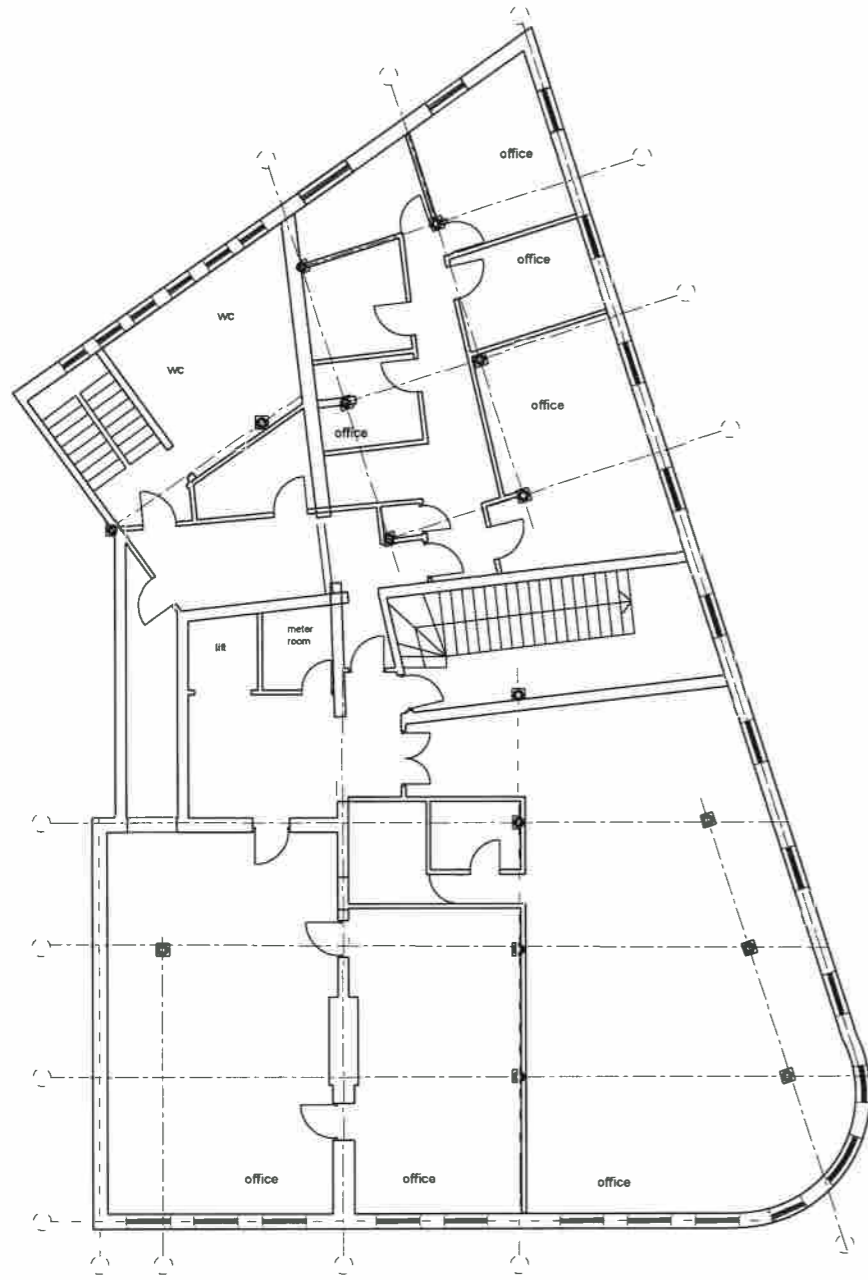
EXISTING GROUND FLOOR SCALE 1:100



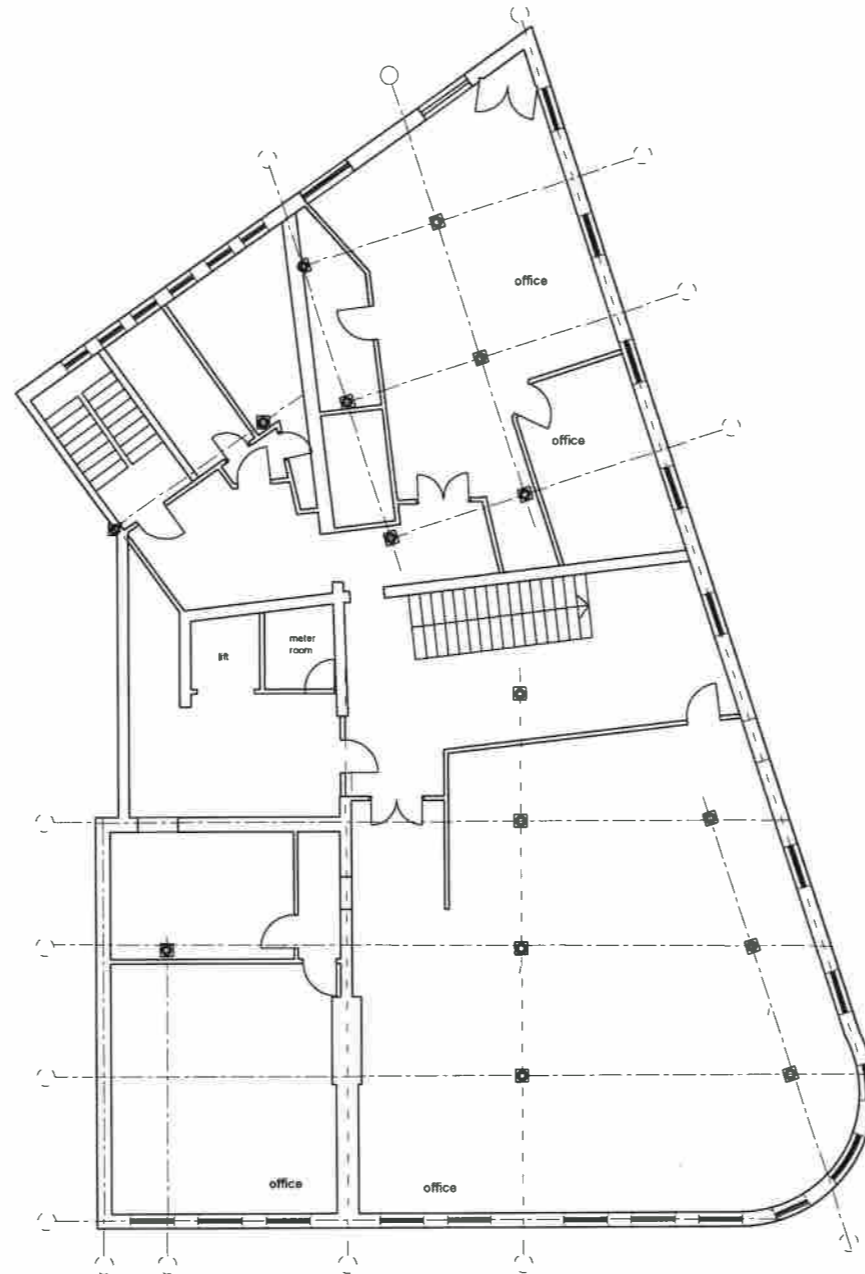
EXISTING FIRST FLOOR SCALE 1:100

Note - survey information provided by other

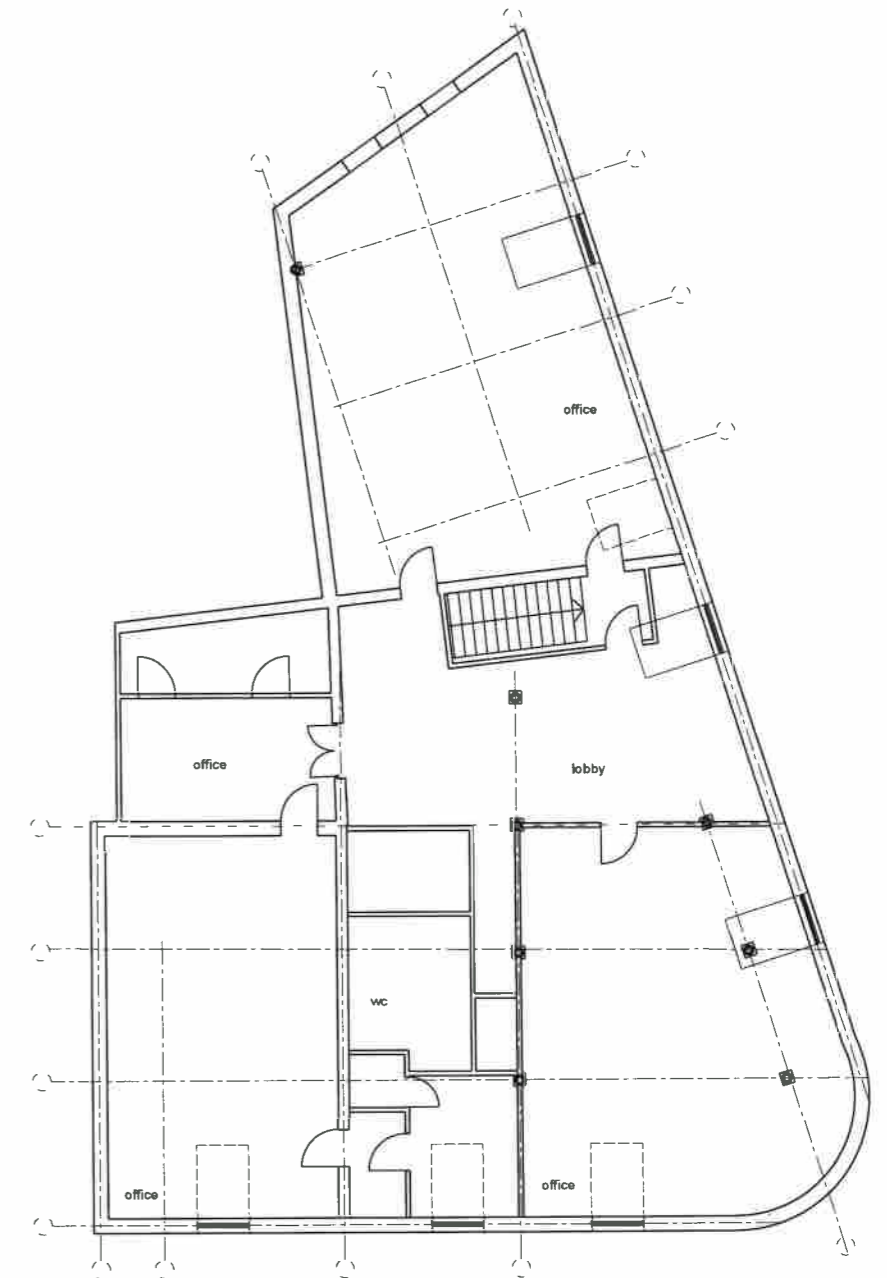
InsideOut Architects <small>InsideOut Architects, 39, Station road Bangor, Co. Down, BT19 1EZ, N. Ireland t 028 9147 8835, e kathy@insideoutni.com, www.insideoutni.com</small>			PROJECT Spencer House Royal Ave		CLIENT Private	
			Survey Drawings		Date 03/2022	Project number 1703
CODE	STATUS	SUITABILITY DESCRIPTION	SHEET	Proposed Ground & First Floor Plans	Drawn by km	DRAWING NUMBER
					Checked by km	1703(-2)L002
						REV



EXISTING SECOND FLOOR SCALE 1:100



EXISTING THIRD FLOOR SCALE 1:100



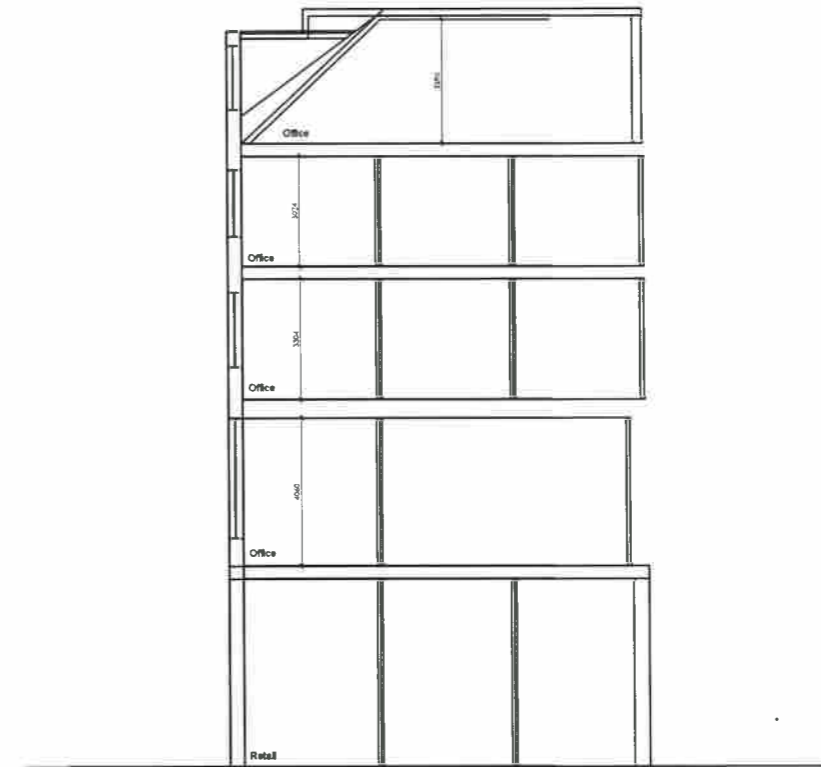
EXISTING FOURTH FLOOR SCALE 1:100

Note - survey information provided by other

InsideOut Architects <small>InsideOut Architects, 39, Station road Bangor, Co. Down, BT19 1EZ, N. Ireland 1 028 9147 8835; e keith@insideoutni.com, www.insideoutni.com</small>			PROJECT Spencer House Royal Ave		CLIENT Private	
			Survey Drawings		Date 03/2022	Project number 1703
					Scale (R A1) 1:100	
CODE	STATUS	SUITABILITY DESCRIPTION	SHEET	Proposed second, third and fourth plans	Drawn by km	DRAWING NUMBER
					Checked by km	1703(-2)L003
						REV



GARFIELD STREET ELEVATION SCALE 1:100

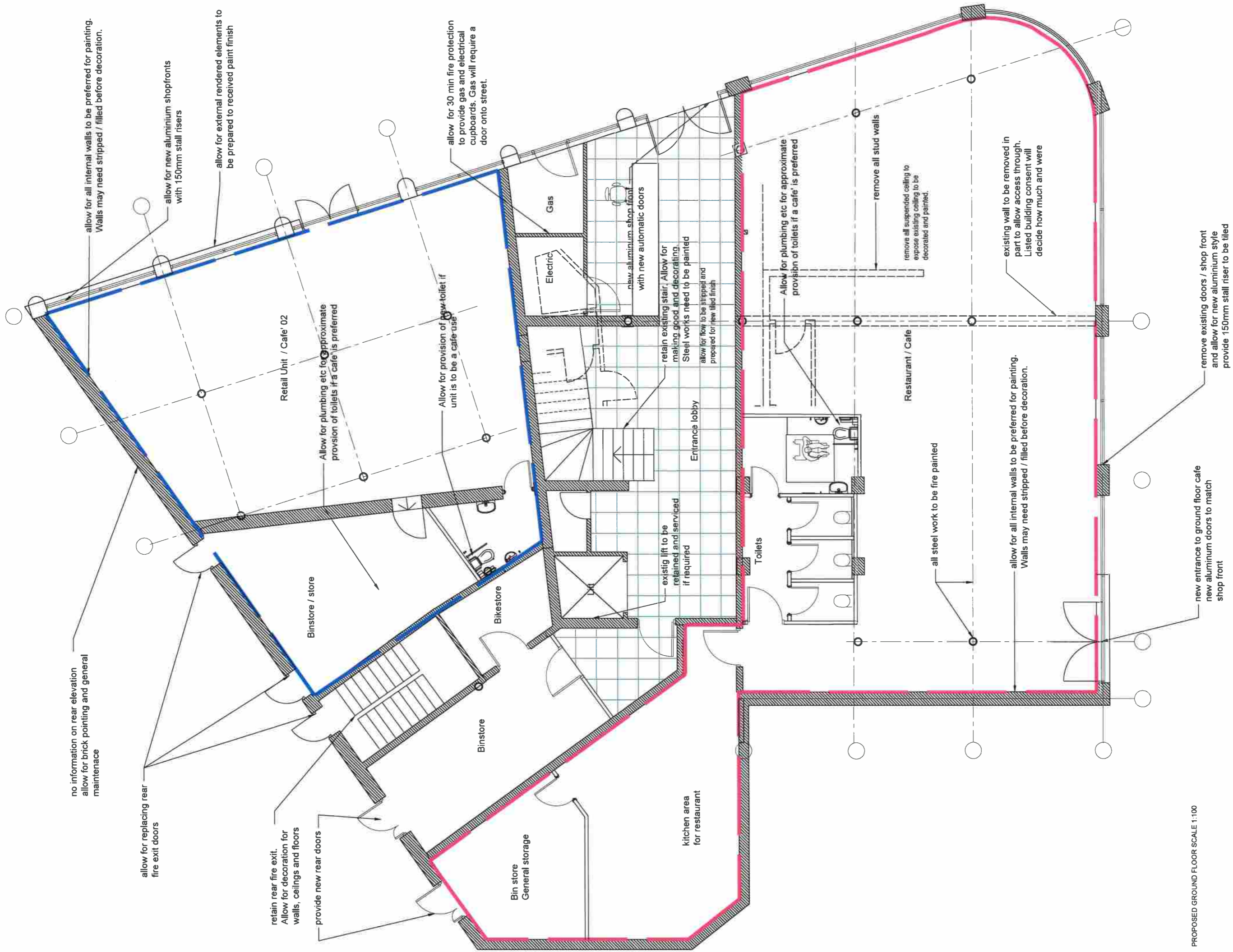


PART SECTION INDICATING FLOOR HEIGHTS ONLY scale 1:50



ROYAL AVE ELEVATION SCALE 1:100

InsideOut Architects <small>InsideOut Architects, 39, Station road Bangor, Co. Down, BT19 1EZ, N. Ireland t 028 9147 8835; e kaah@insideoutni.com; www.insideoutni.com</small>			PROJECT	Spencer House Royal Ave	CLIENT	Private				
				Survey Drawings	Date	03/2022	Project number	1703	Scale (to A1)	1 : 100
CODE	STATUS	SUITABILITY DESCRIPTION	SHEET	Elevations	Drawn by	km	DRAWING NUMBER	1703(-2)_L004	REV	
					Checked by	km				



no information on rear elevation
allow for brick pointing and general
maintenance

allow for replacing rear
fire exit doors

retain rear fire exit.
Allow for decoration for
walls, ceilings and floors

provide new rear doors

Binstore / store

Retail Unit / Cafe 02

Allow for plumbing etc for approximate
provision of toilets if a cafe is preferred

Bikestore

Binstore

Bin store
General storage

kitchen area
for restaurant

existing lift to be
retained and serviced
if required

Entrance lobby

Electric

Gas

new aluminium shop front
with new automatic doors

retain existing stair. Allow for
making good and decorating.
Steel works need to be painted

allow for flow to be stripped and
prepared for new tiled finish

Toilets

Restaurant / Cafe

Allow for plumbing etc for approximate
provision of toilets if a cafe is preferred

remove all stud walls

remove all suspended ceiling to
expose existing ceiling to be
decorated and painted.

all steel work to be fire painted

allow for all internal walls to be preferred for painting.
Walls may need stripped / filled before decoration.

existing wall to be removed in
part to allow access through.
Listed building consent will
decide how much and were

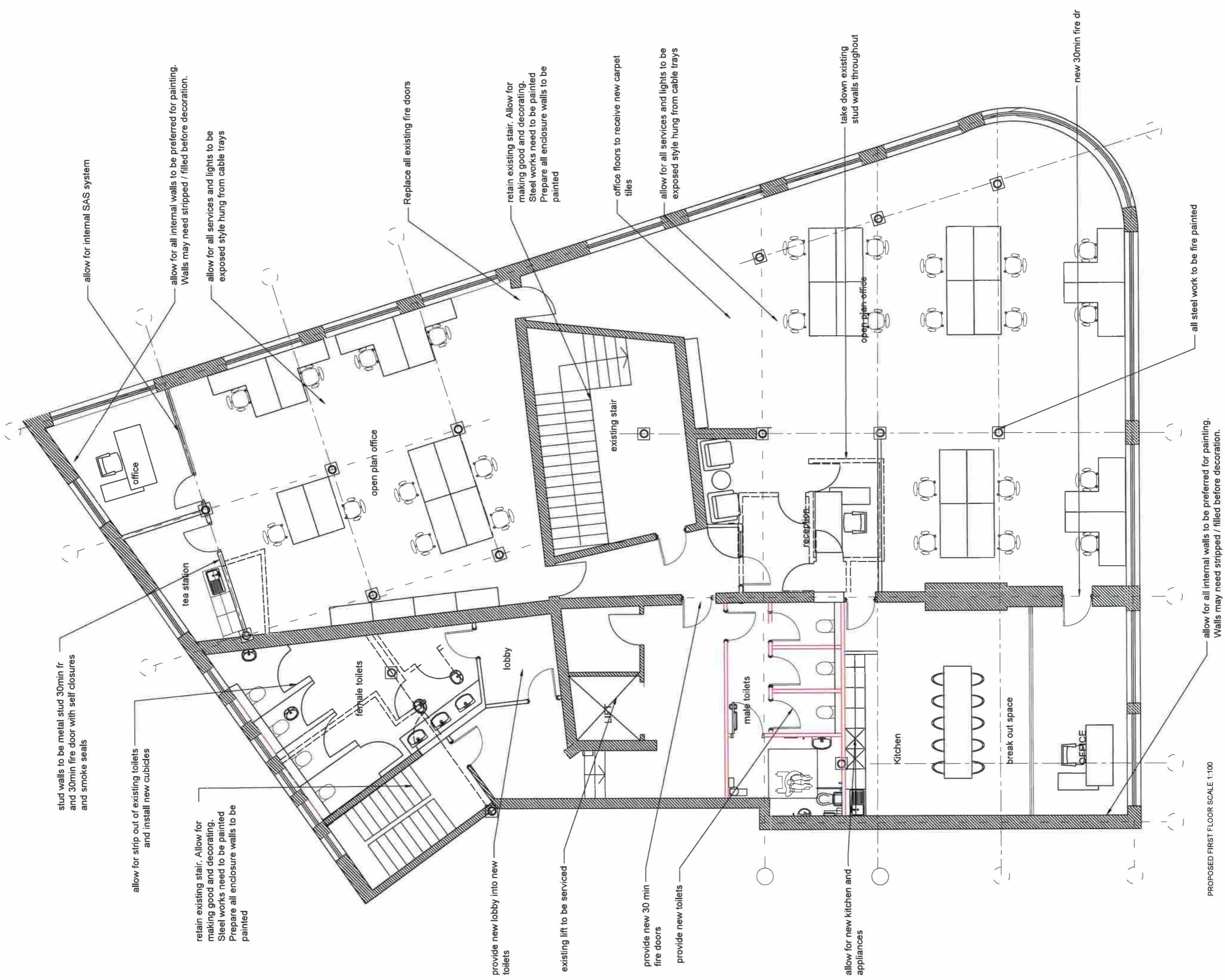
remove existing doors / shop front
and allow for new aluminium style
provide 150mm stall riser to be tiled

new entrance to ground floor cafe
new aluminium doors to match
shop front

PROPOSED GROUND FLOOR SCALE 1:100

InsideOut Architects InsideOut Architects, 38 Station Road/Baker's Co. Down, BT10 1EZ, N. Ireland 1 226 8147 8435; o.saha@insideoutarch.com; www.insideoutarch.com		PROJECT	Spencer House Royal Ave	CLIENT	Private
CODE	STATUS	SUITABILITY DESCRIPTION	SHEET	Office scheme	Project number 1703
			Proposed Ground Floor Plan	Office scheme	Scale (P/A) 1:50
					Drawn by RM
					Checked by RM
					DRAWING NUMBER 1703(2)L005
					REV

Office scheme



stud walls to be metal stud 30min fr and 30min fire door with self closures and smoke seals

allow for strip out of existing toilets and install new cubicles

retain existing stair. Allow for making good and decorating. Steel works need to be painted. Prepare all enclosure walls to be painted

allow for internal SAS system

allow for all internal walls to be preferred for painting. Walls may need stripped / filled before decoration.

allow for all services and lights to be exposed style hung from cable trays

Replace all existing fire doors

retain existing stair. Allow for making good and decorating. Steel works need to be painted. Prepare all enclosure walls to be painted

office floors to receive new carpet tiles

allow for all services and lights to be exposed style hung from cable trays

allow for new kitchen and appliances

take down existing stud walls throughout

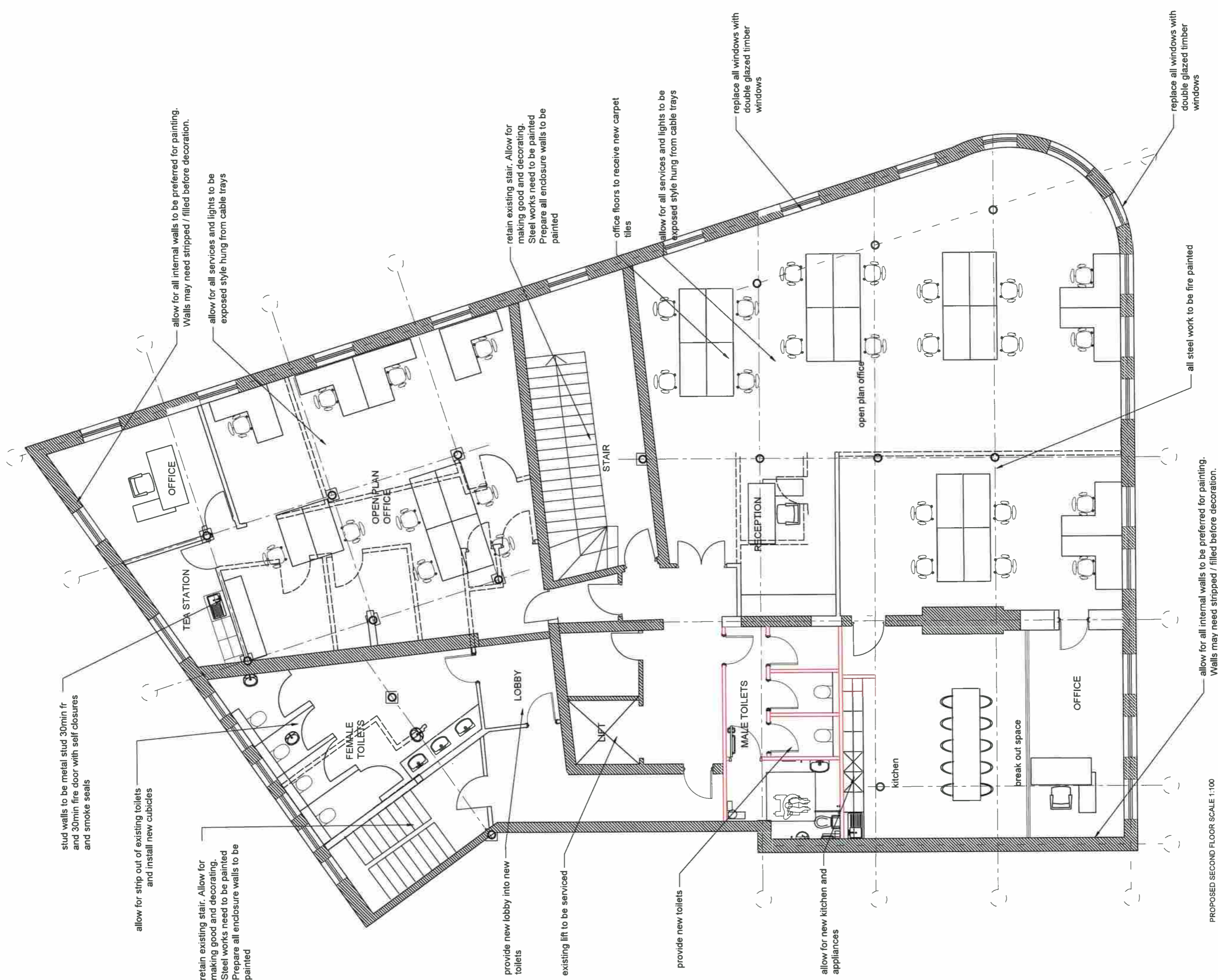
new 30min fire dr

allow for all internal walls to be preferred for painting. Walls may need stripped / filled before decoration.

PROPOSED FIRST FLOOR SCALE 1:100

InsideOut Architects InsideOut Architects, 33, Station Road Bangor, Co. Down, BT18 1ET, N. Ireland 1 623 544 8833, i.o.a@insideout.com , www.insideout.com		PROJECT	Spencer House Royal Ave	CLIENT	Private
STATUS	SUITABILITY DESCRIPTION	SHEET	Proposed First Floor Plan	Date	03/2022
CODE				Project number	Z03
				Scale	@ A3 1:50
				Drawn by	JM
				Checked by	KM
				DRAWING NUMBER	1703(-2)L006
				REV	

Office scheme



stud walls to be metal stud 30min fr and 30min fire door with self closures and smoke seals

allow for strip out of existing toilets and install new cubicles

allow for all internal walls to be preferred for painting. Walls may need stripped / filled before decoration.

allow for all services and lights to be exposed style hung from cable trays

retain existing stair. Allow for making good and decorating. Steel works need to be painted. Prepare all enclosure walls to be painted

provide new lobby into new toilets

existing lift to be serviced

provide new toilets

allow for new kitchen and appliances

retain existing stair. Allow for making good and decorating. Steel works need to be painted. Prepare all enclosure walls to be painted

office floors to receive new carpet tiles

allow for all services and lights to be exposed style hung from cable trays

replace all windows with double glazed timber windows

allow for all internal walls to be preferred for painting. Walls may need stripped / filled before decoration.

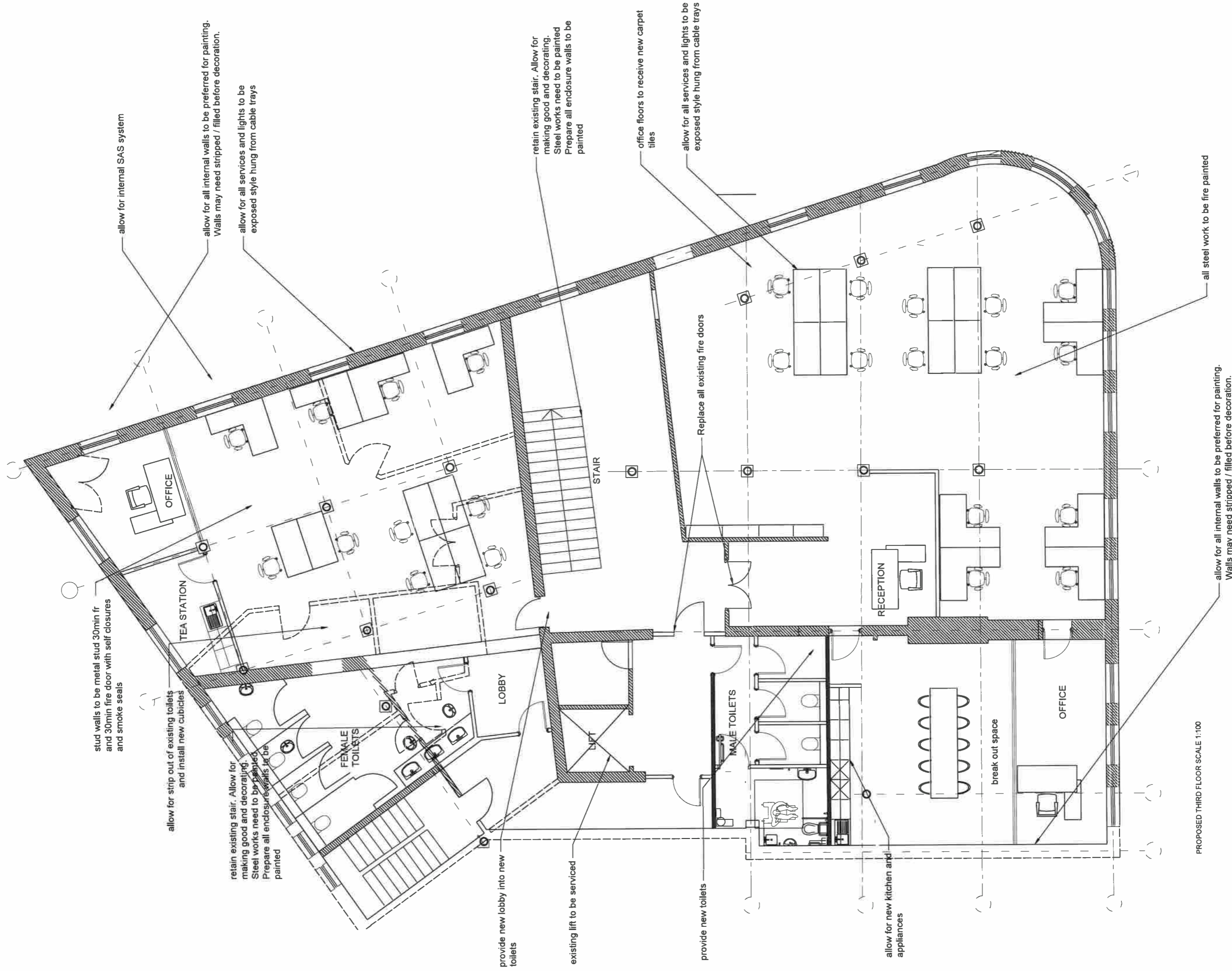
all steel work to be fire painted

replace all windows with double glazed timber windows

PROPOSED SECOND FLOOR SCALE 1:100

InsideOut Architects InsideOut Architects, 28, Station Road Bangor, Co. Down, BT11 1EJ, N. Ireland t: 028 9147 8835, e: info@insideoutn.com, www.insideoutn.com		PROJECT	Spencar House Royal Ave	CLIENT	Private
CODE	STATUS	SUITABILITY DESCRIPTION	SHEET	Proposed Second Floor Plan	Office scheme
			Date	03/2022	Project number
			Drawn by	km	1703
			Checked by	km	DRAWING NUMBER
					1703(-2),007
					Scale (of A1)
					1 : 50
					REV

Office scheme



stud walls to be metal stud 30min fr and 30min fire door with self closures and smoke seals

allow for internal SAS system

allow for strip out of existing toilets and install new cubicles

allow for all internal walls to be preferred for painting. Walls may need stripped / filled before decoration.

allow for all services and lights to be exposed style hung from cable trays

retain existing stair. Allow for making good and decorating. Steel works need to be painted. Prepare all enclosure walls to be painted

provide new lobby into new toilets

retain existing stair. Allow for making good and decorating. Steel works need to be painted. Prepare all enclosure walls to be painted

existing lift to be serviced

office floors to receive new carpet tiles

provide new toilets

Replace all existing fire doors

allow for all services and lights to be exposed style hung from cable trays

allow for new kitchen and appliances

PROPOSED THIRD FLOOR SCALE 1:100

allow for all internal walls to be preferred for painting. Walls may need stripped / filled before decoration.

all steel work to be fire painted

InsideOut Architects

InsideOut Architects, 28, Station Road Bangor, Co. Down, BT19 1EJ, N. Ireland
 T: 098 9147 883, E: info@insideout.ie, www.insideout.ie

CODE: STATUS: SUITABILITY DESCRIPTION:

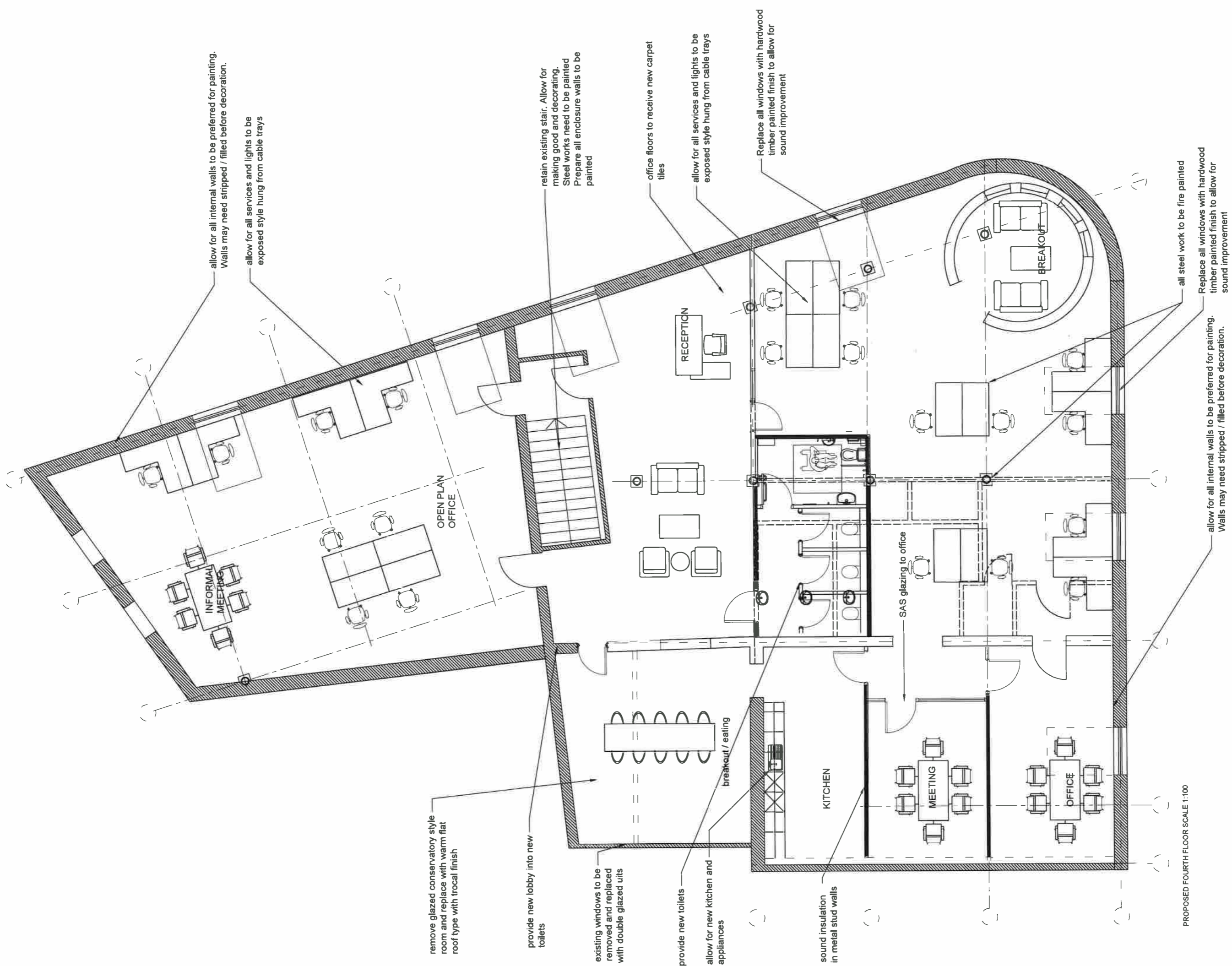
Office scheme

CLIENT	Private
Date	09/20/22
Project number	1703
Scale (p. A1)	1 : 50
Drawn by	km
Checked by	km
DRAWING NUMBER	1703(2)L008
REV	

PROJECT Spencer House Royal Ave

Office scheme

SHEET Proposed Third Floor Plan



Office scheme

PROJECT	Spencer House Royal Ave		CLIENT	Private
	Office scheme		Date	03/2022
SHEET	Proposed Fourth Floor Plan		Project number	1703
	STATUS	SUITABILITY DESCRIPTION	Scale (of A1)	1:50
CODE			Drawn by	km
			Checked by	km
			DRAWING NUMBER	1703(2)L009
			REV	

InsideOut Architects
 18 Station Road Bangor, Co. Down, BT18 1EZ, N. Ireland
 1 (28) 9147 8835 • info@insideout.ie • www.insideout.ie



Allow for replacing tiles that may have slipped

Allow for decoration to all rendered areas

Allow for decoration to all existing timber windows allow for windows to be inspected to maintain all windows work

Replace all existing pvc windows with new hardwood painted windows with triple glazing for sound upgrade

Remove all existing covering below cornice and repair sand stone

Replace all existing pvc windows with new hardwood painted windows with triple glazing for sound upgrade

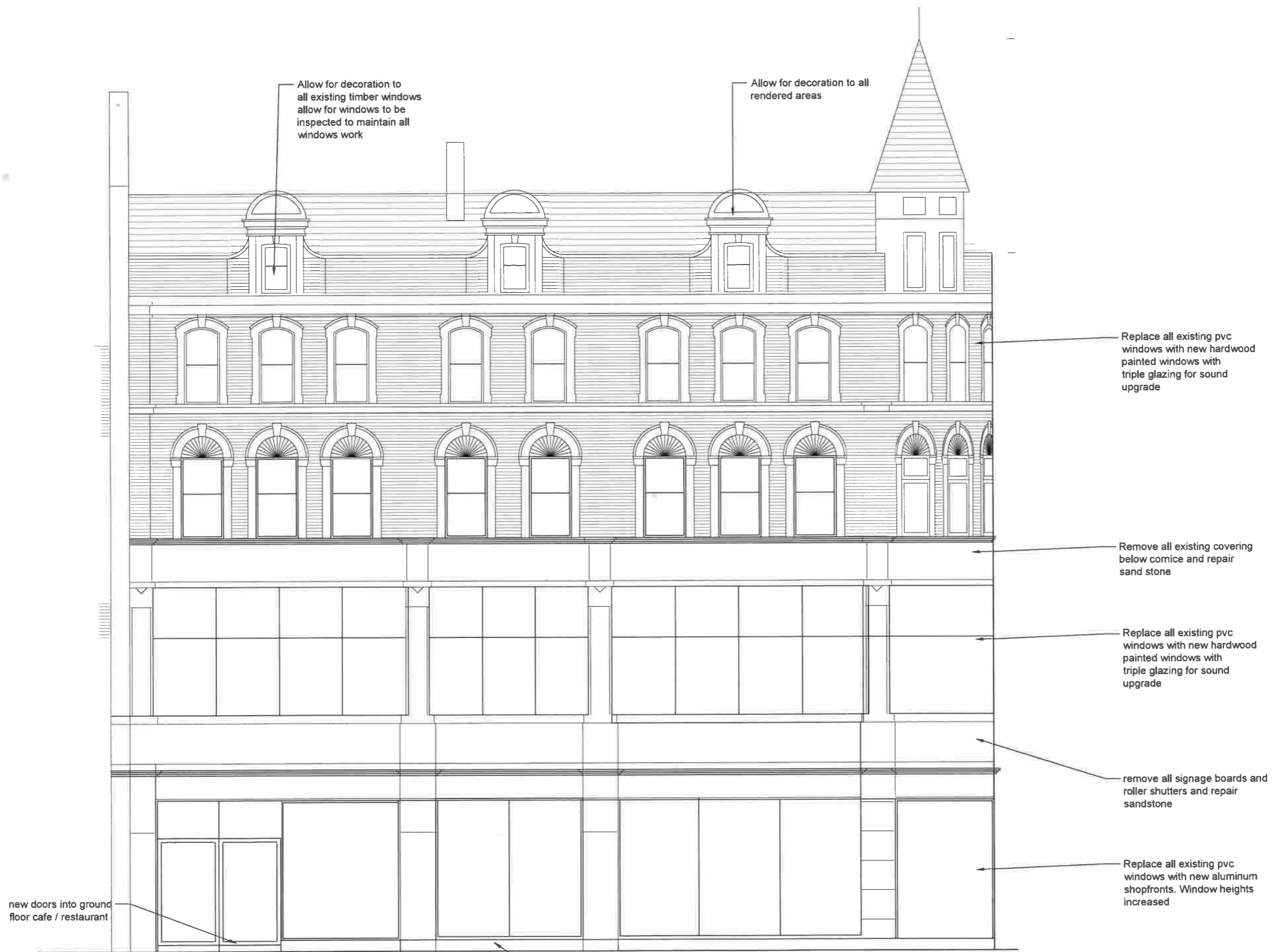
remove all signage boards and roller shutters and repair sandstone

Replace all existing pvc windows with new aluminium shopfronts. Window heights to be increased

ROYAL AVENUE ELEVATION SCALE 1:50

provide 250mm riser stall to be tiled with glazed tiles

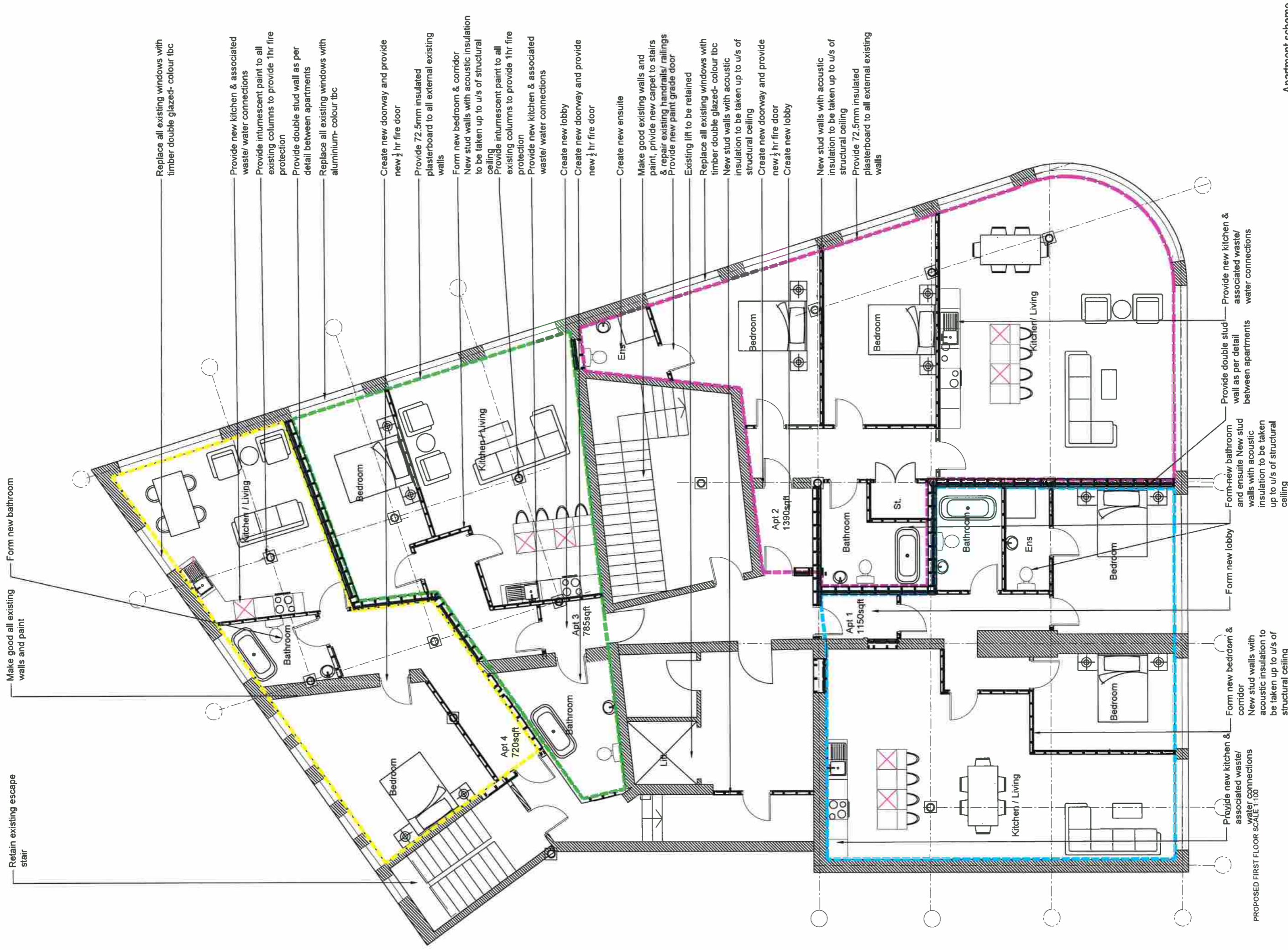
InsideOut Architects <small>InsideOut Architects, 39, Station road Bangor, Co. Down, BT19 1EZ, N. Ireland t 028 9147 8835, e info@insideoutni.com, www.insideoutni.com</small>			PROJECT Spencer House Royal Ave	CLIENT Private
CODE	STATUS	SUITABILITY DESCRIPTION	SHEET Proposed Fourth Floor Plan	Date 03/2022 Project number 1703 Scale (A1) 1:50
			Drawn by km Checked by km	DRAWING NUMBER 1703(-2)L010 REV



GARFIELD STREET ELEVATION SCALE 1:50

provide 250mm riser stall to be tiled with glazed tiles

InsideOut Architects InsideOut Architects, 39, Station road Bangor, Co. Down, BT19 1EZ, N. Ireland 1 028 9147 8835; e info@insideoutz.com; www.insideoutz.com			PROJECT Spencer House Royal Ave	CLIENT Private	
			Date 03/2022	Project number 1703	Scale (of A1) 1:50
			Drawn by km	DRAWING NUMBER	REV
			Checked by km	1703(-2)L011	
CODE	STATUS	SUITABILITY DESCRIPTION	SHEET Garfield Street Elevation		



Retain existing escape stair

Make good all existing walls and paint

Form new bathroom

Replace all existing windows with timber double glazed- colour tbc

Provide new kitchen & associated waste/ water connections
Provide intumescent paint to all existing columns to provide 1hr fire protection

Provide double stud wall as per detail between apartments
Replace all existing windows with aluminium- colour tbc

Create new doorway and provide new ½ hr fire door

Provide 72.5mm insulated plasterboard to all external existing walls

Form new bedroom & corridor
New stud walls with acoustic insulation to be taken up to u/s of structural ceiling
Provide intumescent paint to all existing columns to provide 1hr fire protection
Provide new kitchen & associated waste/ water connections

Create new lobby
Create new doorway and provide new ½ hr fire door

Create new ensuite
Make good existing walls and paint, provide new carpet to stairs & repair existing handrails/ railings
Provide new paint grade door

Existing lift to be retained
Replace all existing windows with timber double glazed- colour tbc
New stud walls with acoustic insulation to be taken up to u/s of structural ceiling
Create new doorway and provide new ½ hr fire door
Create new lobby

New stud walls with acoustic insulation to be taken up to u/s of structural ceiling
Provide 72.5mm insulated plasterboard to all external existing walls

Provide new kitchen & associated waste/ water connections
Form new bedroom & corridor
New stud walls with acoustic insulation to be taken up to u/s of structural ceiling

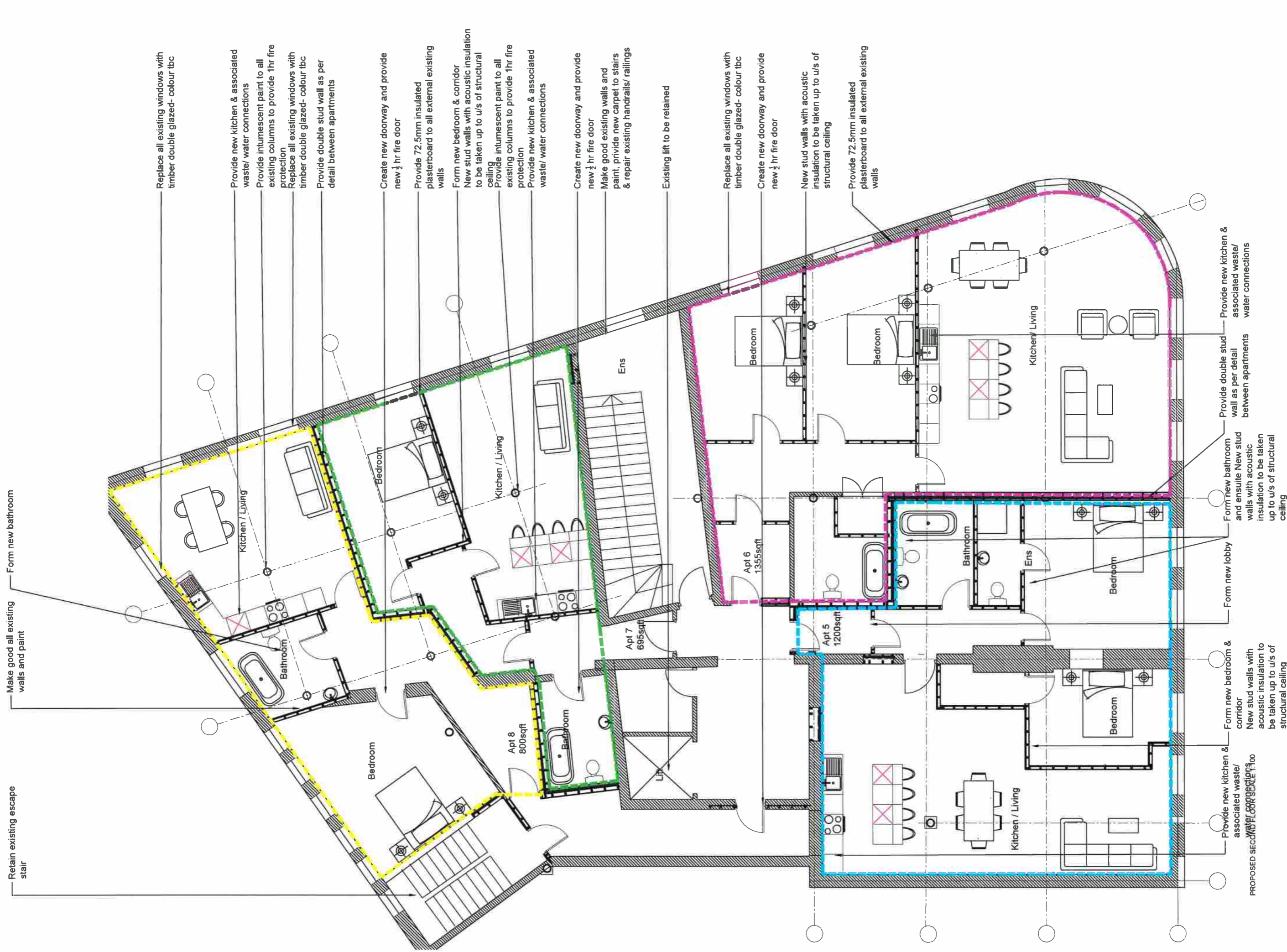
Form new lobby
Form-new bathroom and ensuite
New stud walls with acoustic insulation to be taken up to u/s of structural ceiling

Provide double stud wall as per detail between apartments
Provide new kitchen & associated waste/ water connections

PROPOSED FIRST FLOOR SCALE 1:100

InsideOut Architects InsideOut Architects, 39, Station Road Bangor, Co. Down, BT19 1EZ, N. Ireland 1 276 9 147 8835, i.o@insideout.ie , www.insideout.ie		PROJECT	Spencer House Royal Ave	CLIENT	Private
CODE	STATUS	SUITABILITY DESCRIPTION	SHEET	Proposed First Floor Plan	DRAWING NUMBER
					1703
					Scale (A1)
					1:50
					REV
					1
					1703(2)J012
					Checked by
					km
					Drawn by
					km
					Date
					03/2022
					Project number
					1703

Apartment scheme

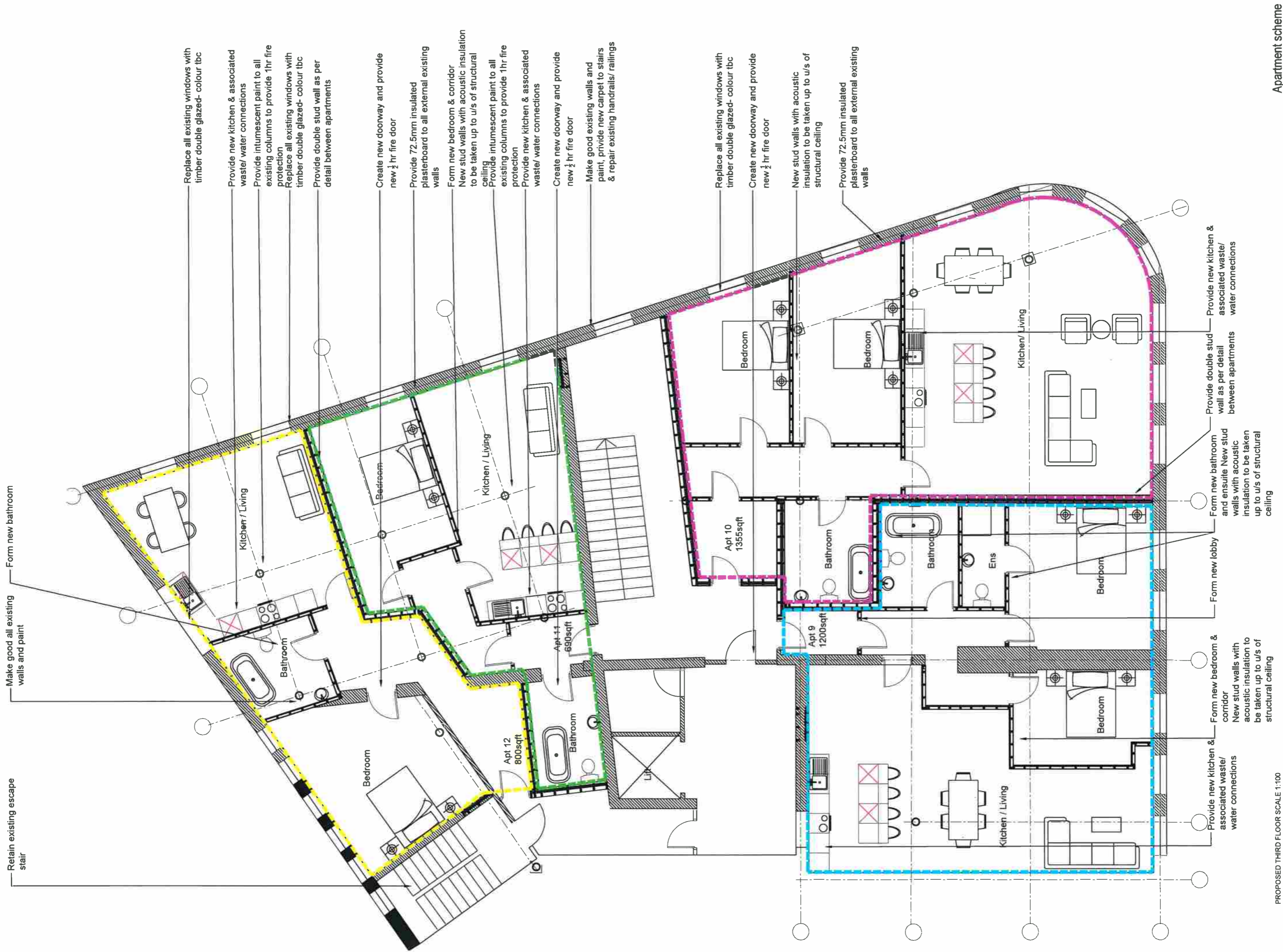


PROPOSED SECOND FLOOR PLAN
 1:50

CLIENT	Private
PROJECT	Spencer House Royal Ave Apartment scheme
DATE	03/2022
PROJECT NUMBER	1703
SCALE	Scale 1:50
DRAWN BY	NM
CHECKED BY	NM
DRAWING NUMBER	1703-(2)L013
REVISION	REV
STATUS	SUITABILITY DESCRIPTION
SHEET	Proposed Second Floor Plan

InsideOut Architects
 InsideOut Architects, 38 Station Road Bangor, Co. Down BT15 1E2, N. Ireland
 1 276 9141 8835 • info@insideout.ie • www.insideout.ie

Apartment scheme



Retain existing escape stair

Make good all existing walls and paint

Form new bathroom

Replace all existing windows with timber double glazed- colour tbc

Provide new kitchen & associated waste/ water connections

Provide intumescent paint to all existing columns to provide 1hr fire protection

Replace all existing windows with timber double glazed- colour tbc

Provide double stud wall as per detail between apartments

Create new doorway and provide new ½ hr fire door

Provide 72.5mm insulated plasterboard to all external existing walls

Form new bedroom & corridor

New stud walls with acoustic insulation to be taken up to u/s of structural ceiling

Provide intumescent paint to all existing columns to provide 1hr fire protection

Provide new kitchen & associated waste/ water connections

Create new doorway and provide new ½ hr fire door

Make good existing walls and paint, provide new carpet to stairs & repair existing handrails/ railings

Replace all existing windows with timber double glazed- colour tbc

Create new doorway and provide new ½ hr fire door

New stud walls with acoustic insulation to be taken up to u/s of structural ceiling

Provide 72.5mm insulated plasterboard to all external existing walls

Form new bathroom and ensuite New stud walls with acoustic insulation to be taken up to u/s of structural ceiling

Form new lobby

Form new bedroom & ensuite New stud walls with acoustic insulation to be taken up to u/s of structural ceiling

Form new bedroom & corridor New stud walls with acoustic insulation to be taken up to u/s of structural ceiling

Provide new kitchen & associated waste/ water connections

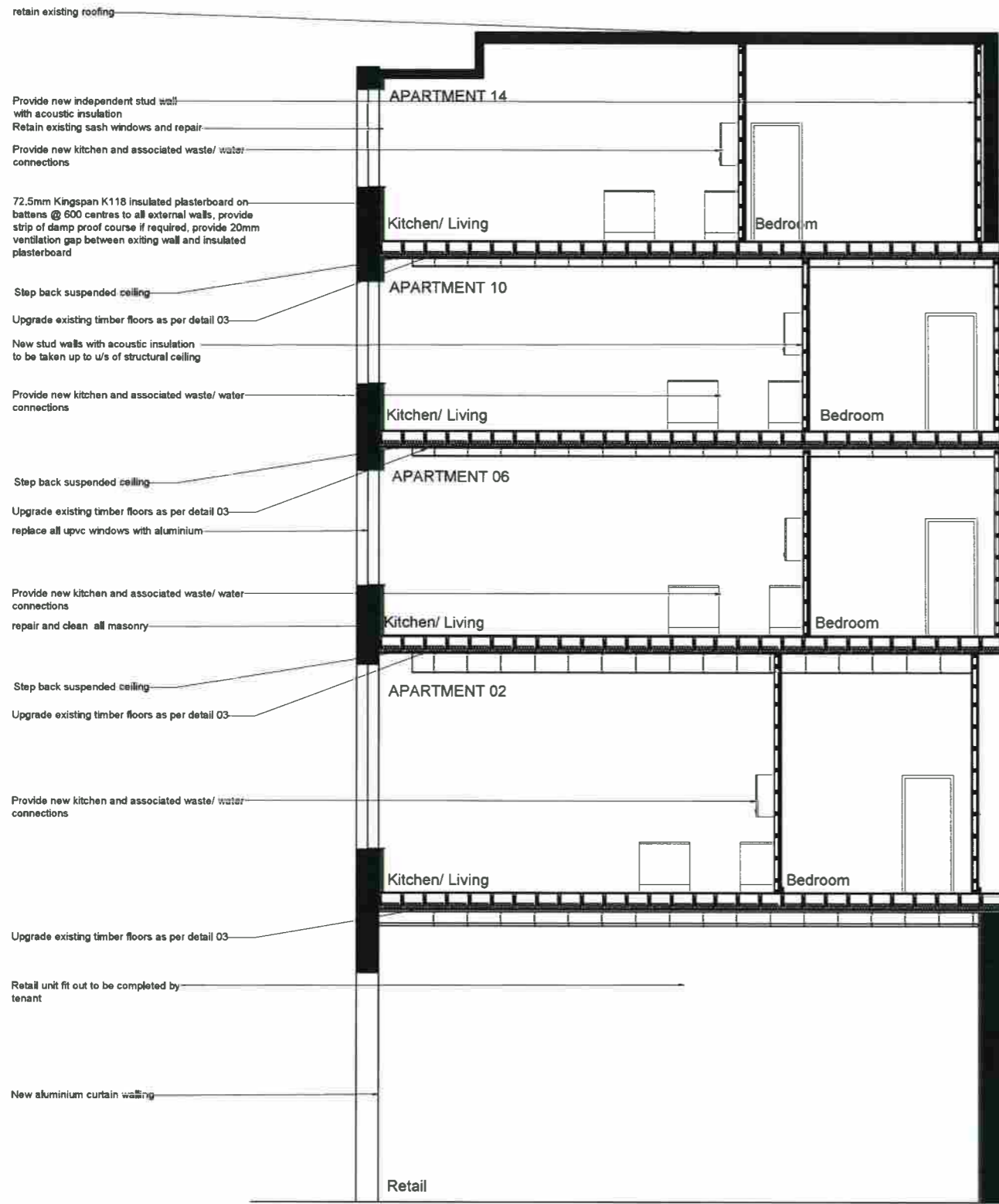
Provide double stud wall as per detail between apartments

Provide new kitchen & associated waste/ water connections

PROPOSED THIRD FLOOR SCALE 1:100

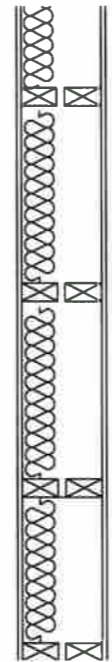
InsideOut Architects InsideOut Architects, 39, Shelton Road Banger, Co. Down, BT19 1EZ, N. Ireland 1 028 9 147 8835. e info@insideoutch.com, www.insideoutch.com		PROJECT	Spencer House Royal Ave	CLIENT	Private
CODE	STATUS	SUITABILITY DESCRIPTION	SHEET	1703(-2)J014	Scale (A1)
			Proposed Third Floor Plan	1703	1:50
				DRAWING NUMBER	REV
				km	
				Checked by	
				km	

Apartment scheme



PROPOSED SECTION SCALE 1:50

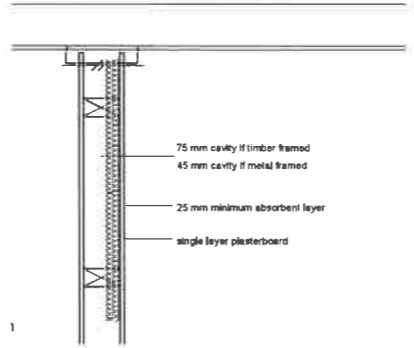
- retain existing roofing
- Provide new independent stud wall with acoustic insulation
- Retain existing sash windows and repair
- Provide new kitchen and associated waste/ water connections
- 72.5mm Kingspan K118 insulated plasterboard on battens @ 600 centres to all external walls, provide strip of damp proof course if required, provide 20mm ventilation gap between exiting wall and insulated plasterboard
- Step back suspended ceiling
- Upgrade existing timber floors as per detail 03
- New stud walls with acoustic insulation to be taken up to u/s of structural ceiling
- Provide new kitchen and associated waste/ water connections
- Step back suspended ceiling
- Upgrade existing timber floors as per detail 03
- replace all upvc windows with aluminium
- Provide new kitchen and associated waste/ water connections
- repair and clean all masonry
- Step back suspended ceiling
- Upgrade existing timber floors as per detail 03
- Provide new kitchen and associated waste/ water connections
- Upgrade existing timber floors as per detail 03
- Retail unit fit out to be completed by tenant
- New aluminium curtain walling



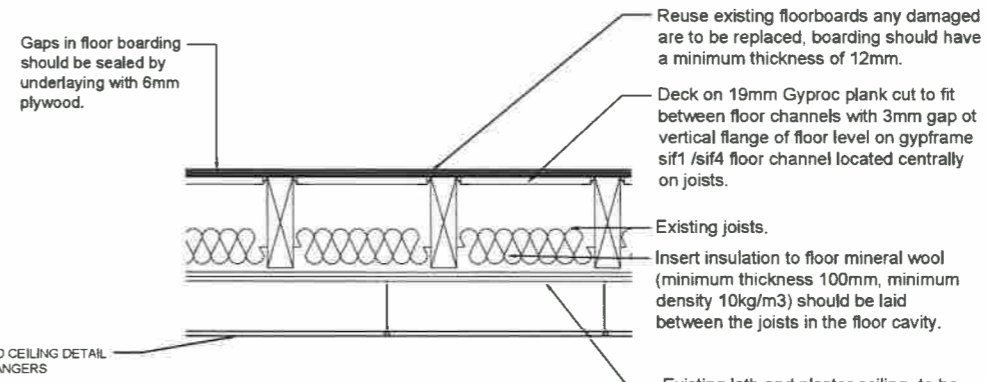
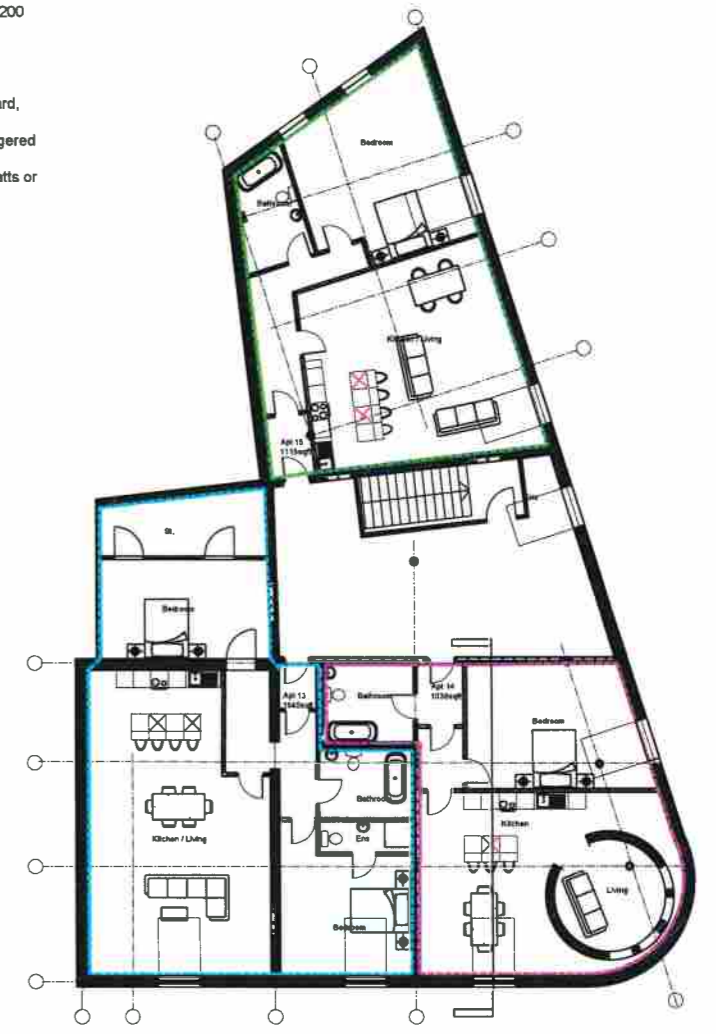
DOUBLE LEAF FRAMES WITH ABSORBENT MATERIAL
 Minimum distance between inside lining faces of 200 mm;
 plywood sheathing may be used in the cavity as necessary for structural reasons;
 each lining to be two or more layers of plasterboard, each sheet of minimum mass per unit area 10 kg/m², with staggered joints;
 absorbent material to be unfaced mineral wool batts or quilt, minimum density 10 kg/m³;
 minimum thickness of absorbent material – 50 mm if fixed to one frame

DOUBLE STUD DETAIL 01 SCALE 1:10

Internal wall type B:
 Timber or metal frames with plasterboard linings on each side of frame and absorbent material (see Diagram 5.2) –
 single layer of plasterboard of minimum mass per unit area 10 kg/m²;
 linings fixed to timber frame with a minimum distance between linings of 75 mm, or metal frame with a minimum distance between linings of 45 mm;
 an absorbent layer of unfaced mineral wool batts or quilt (minimum thickness 25 mm, minimum density 10 kg/m³) which may be wire reinforced, suspended in the cavity;
 all joints well sealed.



STANDARD STUD DETAIL 02 SCALE 1:10



Detail 03 Scale 1:10

Sound insulation detail between apartments and common areas (first and second floor) to comply with diagram 2.37 in Technical Booklet G.

- Reuse existing floorboards any damaged are to be replaced, boarding should have a minimum thickness of 12mm.
- Deck on 19mm Gyproc plank cut to fit between floor channels with 3mm gap at vertical flange of floor level on gypframe sif1 /sif4 floor channel located centrally on joists.
- Existing joists.
- Insert insulation to floor mineral wool (minimum thickness 100mm, minimum density 10kg/m³) should be laid between the joists in the floor cavity.
- Existing lath and plaster ceiling- to be retained- envirograf 105 Fire Resistant Coating for Lath and Plaster to be applied by specialist contractor to all under side of existing ceilings to provide hour fire protection

Apartment scheme

InsideOut Architects <small>InsideOut Architects, 39, Station road Banger, Co. Down, BT19 1EZ, N. Ireland t 028 9147 8835, e kash@insideoutn.com, www.insideoutn.com</small>			PROJECT Spencer House Royal Ave	CLIENT Private	
Apartment scheme			Date 03/2022	Project number 1703	Scale (of A1) 1:50
CODE	STATUS	SUITABILITY DESCRIPTION	SHEET Proposed Section & Details	Drawn by km	DRAWING NUMBER 1703(-2)L016
				Checked by km	REV

