

ULSTER PROPERTY SALES

UPS

NEWTOWNARDS BRANCH

46 High Street, Newtownards, County
Down, BT23 7HZ

028 91811444

newtownards@ulsterpropertysales.co.uk

NETWORK STRENGTH - LOCAL KNOWLEDGE



**4 SANDPIPER AVENUE,
BALLYHALBERT,**

OFFERS AROUND £99,950

Located in the popular Park Homes development in Ballyhalbert, this beautiful detached bungalow is accessed via electric gates and benefits from being on a lovely site within close proximity to the well landscaped communal areas, bowling green and community hub.

Maintained to a high standard internally and with a low maintenance exterior, this is perfect for any buyer hoping to walk in and sit down!

There is a well proportioned living room through to dining room, modern kitchen with a good range of built in appliances and a utility room, two bedrooms with storage, master with ensuite and a family bathroom with white suite.

Externally, there is a garage and driveway with space for two vehicles, areas in lawn and the property is within walking distance to communal green areas.

Properties in this development are cash sale only for over 45's and we recommend viewing at your earliest convenience.



Key Features

- Two Bedroom Residential Lodge Located Within A Gated Community
- Modern Kitchen With A Range of Integrated Appliances
- Family Bathroom With White Suite
- Detached Garage and Driveway With Space For Two Vehicles
- Spacious Living Room And Dining Room
- Two Double Bedrooms, Master With En-suite
- uPVC Double Glazed Windows And Gas Fired Central Heating
- Short Distance From The Beach And Sea Front.



Accommodation

Comprises:

Entrance Hall

Solid wooden floor and built in storage.

Living/Dining Room

18'5" x 21'7"

Solid wooden floor, electric fireplace with granite hearth, surround and mantle.

Kitchen

8'8" x 12'9"

Range of high and low level units, laminate work surfaces, single stainless steel sink with mixer tap, integrated oven, four ring gas hob, stainless steel extractor hood, integrated fridge/freezer, integrated dishwasher, tiled floor and recessed spotlights.

Utility Room

Range of high and low level units with laminate work surfaces, single stainless steel sink with mixer tap and drainer, integrated washing machine, tiled floor, recessed spotlights, built in storage with gas fired boiler, back door to rear garden.

Bedroom 1

10'2" x 8'9"

Solid wooden floor and built in wardrobe.

Ensuite

White suite comprising corner shower enclosure, wall mounted overhead shower, sliding doors, vanity unit with mixer tap and storage, low flush w/c, panelled walls, tiled floor and extractor fan.

Bedroom 2

Double bedroom, built in wardrobes, solid wooden floor.

Bathroom

White suite comprising paneled bath with mixer tap, vanity unit with mixer tap and storage, low flush w/c, tiled floor, paneled walls and extractor fan.

Outside

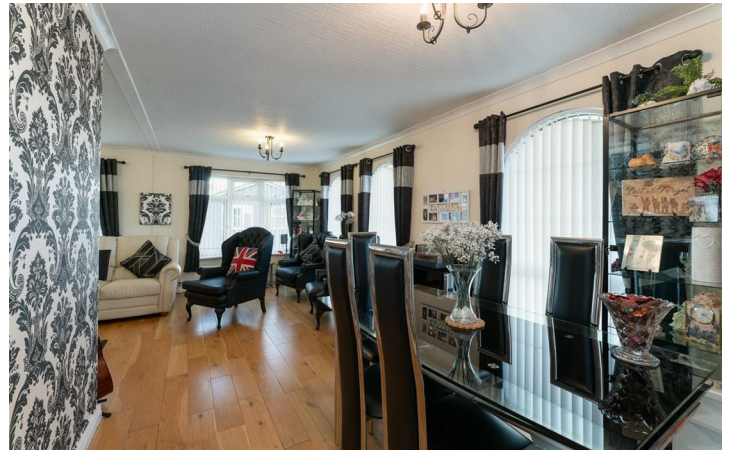
Front - Stoned beds with shrubs, brick pavior driveway with space for two vehicles.

Rear - Area in lawn, area in stones, patio walkway, outside tap and decked area for entertainment.

Garage

9'5" x 19'8"

Up and over door, power and light.



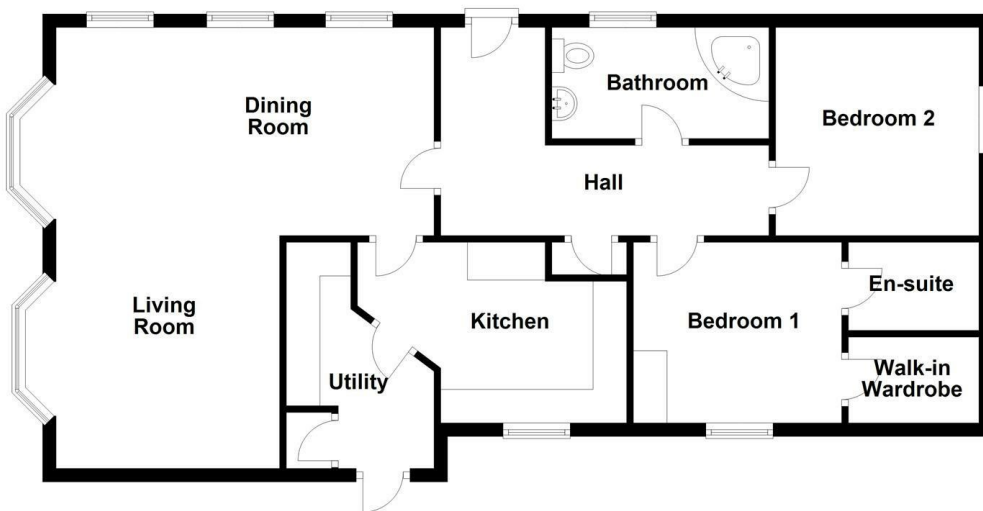








Ground Floor



Whilst every attempt has been made to ensure the accuracy of the floor plan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.
Plan produced using PlanUp.

Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus) A			
(81-91) B			
(69-80) C			
(55-68) D		55	55
(39-54) E			
(21-38) F			
(1-20) G			
Not energy efficient - higher running costs			
Northern Ireland		EU Directive 2002/91/EC	

Questions you may have. **Which mortgage would suit me best?**

How much deposit will I need? What are my monthly repayments going to be?

To answer these and other mortgage related questions contact our mortgage advisor on 028 91811444.

Your home may be repossessed if you do not keep up repayments on your mortgage.

We DO NOT charge for initial mortgage consultations. We may charge a fee on completion depending on circumstances. Our typical fee is £250, however, please confirm with Mortgage Consultant at time of appointment.

Please note that we have not tested the services or systems in this property. Purchasers should make/commission their own inspections if they feel it is necessary.

ULSTERPROPERTYSALES.CO.UK

ANDERSONSTOWN
028 9060 5200

BALLYHACKAMORE
028 9047 1515

BALLYMENA
028 2565 7700

BALLYNAHINCH
028 9756 1155

BANGOR
028 9127 1185

CARRICKFERGUS
028 9336 5986

CAUSEWAY COAST
0800 644 4432

CAVEHILL
028 9072 9270

DOWNPATRICK
028 4461 4101

FORESTSIDE
028 9064 1264

GLENGORMLEY
028 9083 3295

MALONE
028 9066 1929

NEWTOWNARDS
028 9181 1444

RENTAL DIVISION
028 9070 1000

CWS Properties Ltd; Trading under licence as Ulster Property Sales (Newtownards) Reg. No. NI616437;
Registered Office: 324 Upper Newtownards Road, Belfast BT4 3EX
©Ulster Property Sales is a Registered Trademark

