

SPECIAL FEATURES OF THE PROPERTY INCLUDE:



Daniel Henry
ESTATE AGENTS

£155,000

FOR SALE



1 Carn Manor, L'Derry, BT47 5SB

- END TOWNHOUSE
- OIL FIRED CENTRAL HEATING
- PVC DOUBLE GLAZED WINDOWS
- PVC EXTERIOR DOORS
- TARMACADAM DRIVEWAY
- STAIR CARPET, CURTAINS AND BLINDS INCLUDED IN SALE
- SECURITY SYSTEM INSTALLED

VIEWING STRICTLY BY APPOINTMENT ONLY

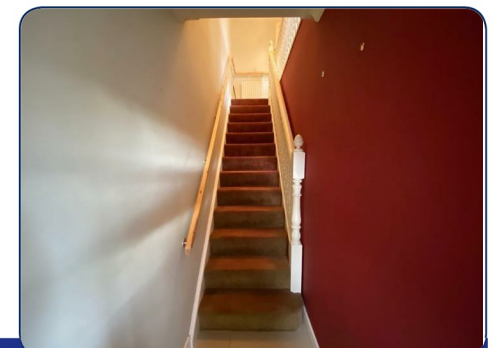
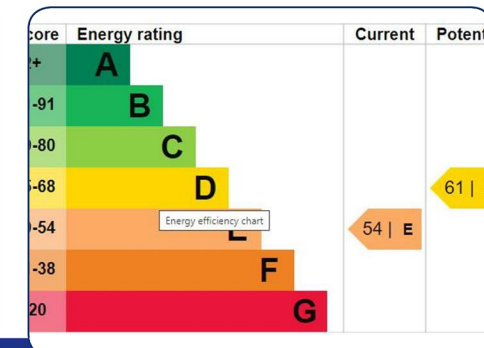
Agent:



Misrepresentation clause: Daniel Henry, give notice to anyone who may read these particulars as follows:

1. The particulars are prepared for the guidance only for prospective purchasers. They are intended to give a fair overall description of the property but are not intended to constitute part of an offer or contract.
2. Any information contained herein (whether in the text, plans or photographs) is given in good faith but should not be relied upon as being a statement of representation or fact.
3. Nothing in these particulars shall be deemed to be a statement that the property is in good condition or otherwise nor that any services or facilities are in good working order.
4. The photographs appearing in these particulars show only certain parts of the property at the time when the photographs were taken. Certain aspects may be changed since the photographs were taken and it should not be assumed that the property remains precisely as displayed in the photographs. Furthermore, no assumptions should be made in respect of parts of the property which are not shown in the photographs.
5. Any areas, measurements or distances referred to herein are approximate only.
6. Where there is reference to the fact that alterations have been carried out or that a particular use is made of any part of the property this is not intended to be a statement that any necessary planning, building regulations or other consents have been obtained and these matters must be verified by an intending purchaser.
7. Descriptions of the property are inevitably subjective and the descriptions contained herein are given in good faith as an opinion and not by way of statement of fact.
8. None of the systems or equipment in the property has been tested by Daniel Henry for Year 2000 Compliance and the Purchasers / Lessees must make their own investigations.

www.danielhenry.co.uk
www.propertypal.com





ENTRANCE HALLWAY

Having tiled floor

LOUNGE

17'11" x 13'7" wp (5.46m' x 4.14m' wp)

Having attractive fireplace with gas inset and granite hearth; dual aspect; semi solid wooden floor; recessed uplighters; wall lights; ceiling corning; under stairs storage; double doors to:-

KITCHEN

10'10" x 10'3" (3.30m' x 3.12m')

having range of eye and low level units and granite worktops and splashback; hob; under oven; stainless steel extractor hood; integrated dishwasher; integrated fridge / freezer; ceiling corning; tiled floor;

UTILITY ROOM

having low level units and sink unit; plumbed for automatic washing machine; space for tumber dryer; ceiling corning; tiled floor

GUEST TOILET

Comprising wash hand basin and WC; tiled floor

FIRST FLOOR

Landing with hotpress; ceiling corning

MASTER BEDROOM

13'4" x 9'2" (4.06m' x 2.79m')

Semi solid wood floor; built in wardrobes.

ENSUITE SHOWER ROOM

Comprising fully tiled walk in electric shower; wash hand basin and WC; 1/2 tiled walls and floor

BEDROOM 2

10'7" x 9'0" (3.23m' x 2.74m')

Built in wardrobes; semi solid wooden floor.

BEDROOM 3

7'6" x 7'2" (2.29m' x 2.18m')

Semi solid wooden floor

BATHROOM

Comprising bath, walk in shower; wash hand basin and WC; fully tiled walls and floor.

EXTERIOR FEATURES

Neat Lawns to rear bordered by fence.

Enclosed to rear by fence and gate.

Outside light and tap.

ESTIMATED ANNUAL RATES

£919.32 (Nov 2021)

