



**PLANNING PERMISSION**

**Planning (Northern Ireland) Order 1991**

**COPY**

Application No: **I/2009/0583/F**

Date of Application: **27th October 2009**

Site of Proposed Development: **Adjacent to 7 Roughan Road, Stewartstown, BT71 5PY**

Description of Proposal: **Proposed dwelling**

Agent: **Mr S Donnelly**  
Address: **Seamus Donnelly**  
**80A Mountjoy Road**  
**Coalisland**  
**BT71 5EP**

Drawing Ref: **01, 02, 03 Revision 1, 04 Revision 1**

The Department of the Environment in pursuance of its powers under the above-mentioned Order hereby

**GRANTS PLANNING PERMISSION**

for the above-mentioned development in accordance with your application subject to compliance with the following conditions which are imposed for the reasons stated:

1. As required by Article 34 of the Planning (Northern Ireland) Order 1991, the development hereby permitted shall be begun before the expiration of 2 years from the date of this permission.

Reason: Time limit.

2. The vehicular access, including visibility splays and any forward sight line, shall be provided in accordance with the approved plans, prior to the commencement of any works or other development hereby permitted.

Reason: To ensure there is a satisfactory means of access in the interests of road safety and the convenience of road users.

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DC1001MW

Omagh Planning Office





3. The area within the visibility splays and any forward sight line shall be cleared to provide a level surface no higher than 250mm above the level of the adjoining carriageway prior to the commencement of any works or other development hereby permitted and shall be retained and kept clear thereafter.

Reason: To ensure there is a satisfactory means of access in the interest of road safety and the convenience of road users.

4. The existing hedgerows along the northern, western and southern as indicated on stamped approved drawing 02 date stamped 27th October 2009 shall be retained at a minimum height of 2 metres and trees within the hedgerow shall be allowed to grow on. There shall be no lopping, topping, felling or removal of any trees within the site without the prior written approval of the Department unless necessary to prevent danger to the public in which case a full explanation shall be given to the Department in writing within one week of the work being carried out.

Reason: To ensure the development integrates into the countryside and to ensure the maintenance of screening to the site.

5. All landscaping comprised on stamped approved drawing no. 02 date stamped 27th October 2009 shall be carried out in the first planting season following the commencement of the construction of the development hereby approved. Any trees or shrubs which, within a period of 5 years from the completion of the development, die, are removed, become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.

Reason: To ensure that a comprehensive landscaping scheme is established on the site complimenting the visual amenity of the area.

6. Notwithstanding the provisions of the Planning (General Development) Order (NI) 1993, or any Order revoking and re-enacting that Order, no buildings, walls, gate pillars, fences or other means of enclosure requiring foundation, structure, hard surfaces or enclosures (including swimming pools and gardens) incidental to the enjoyment of the dwelling hereby permitted, or access onto an unclassified road, shall be erected, provided, maintained or improved within the red outline as indicated on stamped approved plan 01 date stamped 27th October 2009.

Reason: To preserve the amenity of the countryside.

#### **Informatives**

1. This permission does not confer title. It is the responsibility of the developer to ensure that he controls all the lands necessary to carry out the proposed development.
2. Notwithstanding the terms and conditions of the Department of Environment's approval set out above, you are required under Article 71 - 83 inclusive of the Roads (NI) Order 1993 to be in possession of the DRD's consent before any work is commenced which involves making openings to any fence or hedge bounding the site. The consent is available on personal application to the Roads Service Section Engineer whose address is: 33 Molesworth Street, Cookstown. A deposit will be required.

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See also Explanatory Notes attached





3. The applicant's attention is drawn to the Wildlife (Northern Ireland) Order 1985 which states that it is an offence to intentionally kill, injure or take any wild bird. It is also an offence to take or damage or destroy to the nest or egg(s) of these bird(s) while they are building, in or at a nest, or whilst they have dependant young. It is therefore advised that tree and hedge loss should be kept to a minimum and removal should not be carried out during the bird - breeding season between 1st March and 31st August. Where the bird is included in Schedule 1 of the Order any offence is liable to a special penalty.
4. The onus is on the householder/developer to find out if there is existing water and sewer infrastructure within their property.
5. It is an offence under Article 236 of the Water and Sewerage Services (Northern Ireland) Order 2006, to build over or near watermains, sewers, pipes and associated works owned and maintained by Northern Ireland Water unless with the prior consent by NI Water.
6. House owners and developers should obtain details of existing infrastructure from NI Water by requesting a copy of the water and sewer records. Copies of our records are supplied under Articles 257 and 258 of the 2006 Order. There is a nominal charge for this service.
7. Where existing water and sewer infrastructure is located within a property and proposed development of the site interferes with the public watermains, sewers and associated works, the householder/developer may make a Notice under Article 247 of the 2006 Order to have the public infrastructure diverted, realigned. Each diversion and realignment request is considered on its own merits and approval is at the discretion of NI Water. The applicant is required to meet any financial conditions for realignment or diversion of the water and sewer infrastructure, including full costs, company overheads, etc.
8. It is the responsibility of the developer/house builder to find out about the nearest public watermain, foul sewer and storm sewer/watercourse that has the capacity to service the proposed development. Copies of existing water and sewer records can be obtained from NI Water. There is a charge for this service.
9. Guidance can be given to developers/house builders about how the proposed development can be served by a public watermain or sewers. To find out how proposed development can be serviced with water and sewer infrastructure, developers and house builders can submit a Pre-Development Enquiry.
10. If your proposed development is not near a public watermain, foul sewer or surface water sewer and you cannot discharge your surface water to a natural watercourse you may wish to consider making a requisition Notice asking NI Water to extend the public watermain or foul/storm sewer system to service your development. This can be done by requisitioning a watermain under Article 76 of the 2006 Order and sewers under Article 154 of the 2006 Order. House builders and developers may have to contribute to the cost of extending watermains and sewers.

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See also Explanatory Notes attached



An Agency within the Department of the  
**Environment**  
www.doeni.gov.uk



INVESTOR IN PEOPLE



11. If you wish to find out more about what you can or cannot do if there is existing water or sewer infrastructure in, over or under your property, or you want to find out how your proposed development can be serviced contact NI Water staff on the Developers Services Business Line 08458770002 and ask for the Developers Services Co-Ordination Team. Copies of Application forms can be downloaded from [www.niwater.com/servicesfordevelopers.asp](http://www.niwater.com/servicesfordevelopers.asp)
12. A consent under the terms of the Water (Northern Ireland) Order 1999 will be required from the Department's Environment Service, Calvert House, Castle Place, Belfast.

Dated: 10th February 2010

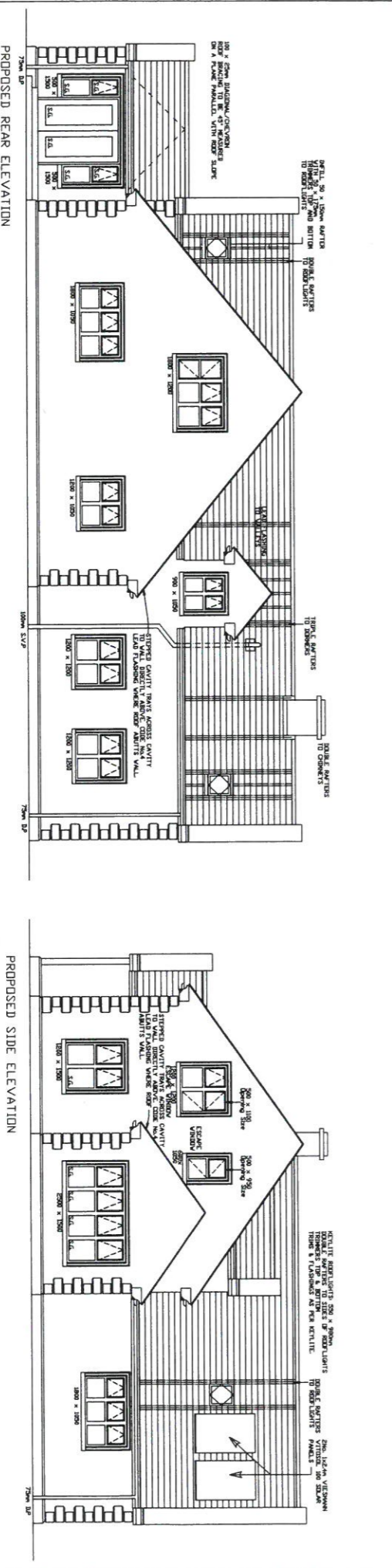
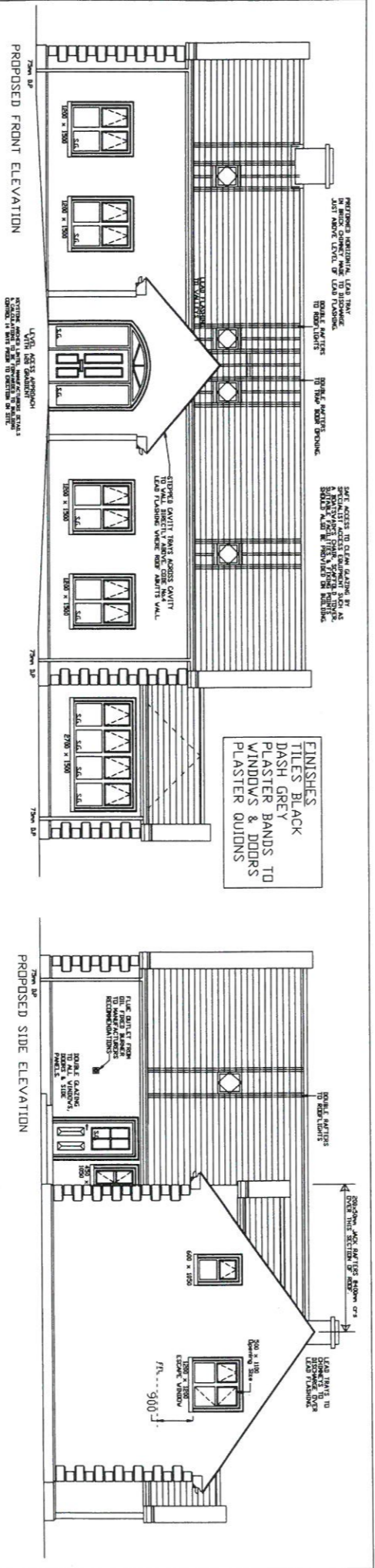
  
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Authorised Officer

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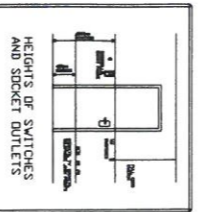
Approximate measurements and boundaries for identification only  
Exact measurements and boundaries to be verified from site or deed.

**SOIL BONDING REQUIREMENTS**  
 1. All exterior walls shall be finished with 1/2\"/>

**VENTILATION**  
 Mechanical ventilation to be provided to kitchen and utility room at 15 CFM per person. Exhaust fans shall be vented to the exterior. All windows shall be double-hung or triple-hung with a minimum clear opening of 20% of floor area. All doors shall be solid core with a minimum clear opening of 20% of floor area.

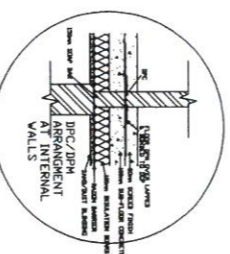
**ROOFING WINDOW**  
 1. All roof windows shall be finished with 1/2\"/>

DATE: JULY 2011	AGENCY: SEANIS DONNELLY, INC.
SCALE: 1/8\"/>	
DESK NO: 17383/04	PROJECT NO: 17383/04
TEL: 1.414.888.8748	



HEIGHTS OF SWITCHES AND SOCKET OUTLETS

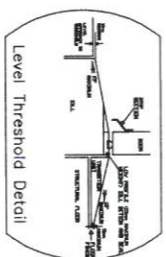
LINTEL OVER PIPEWORK PASSING BENEATH BUILDING THROUGH WALLS.



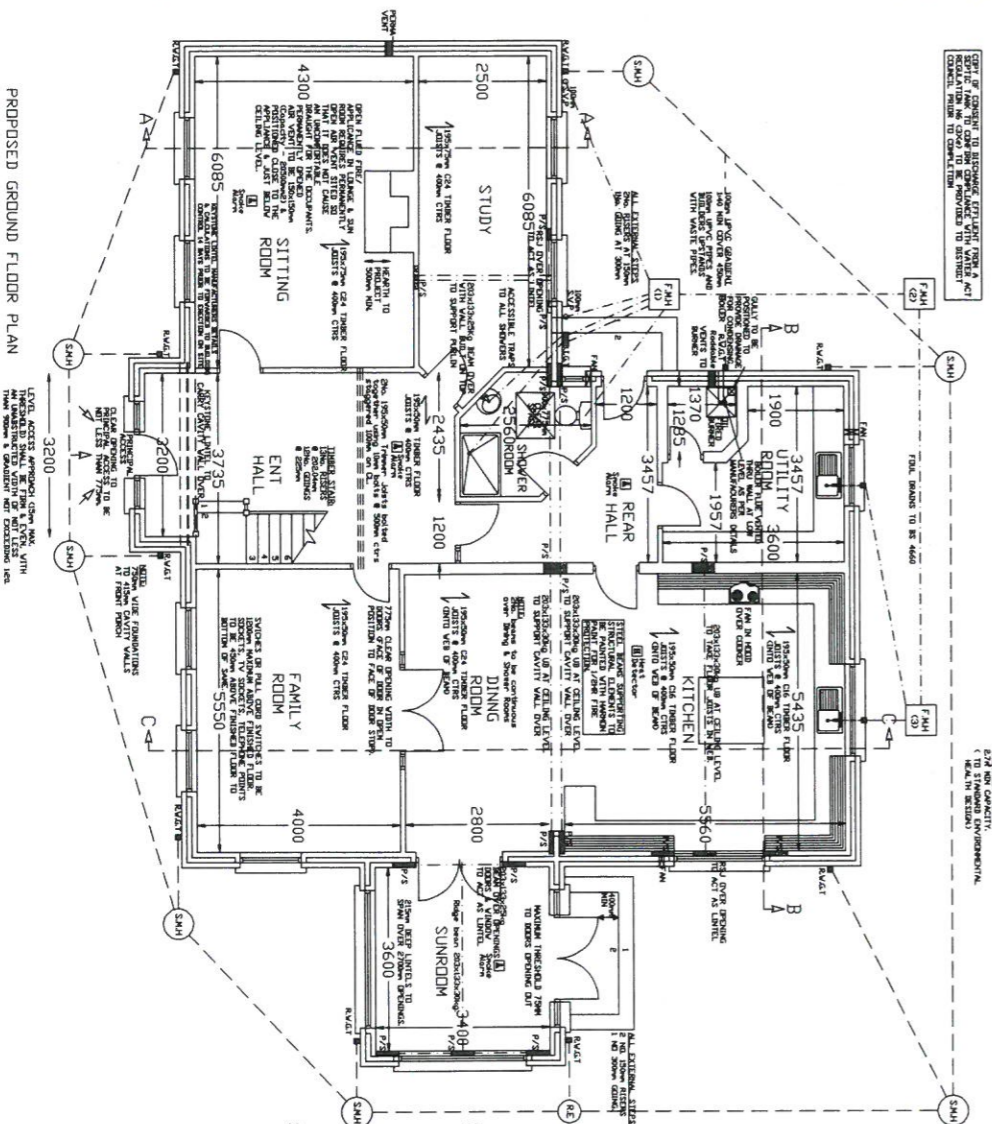
IPC/PIP ARRANGEMENT AT INTERNAL WALLS

LINTEL SCHEDULE	
FINISHING	SIZE
1	200 x 200 x 200
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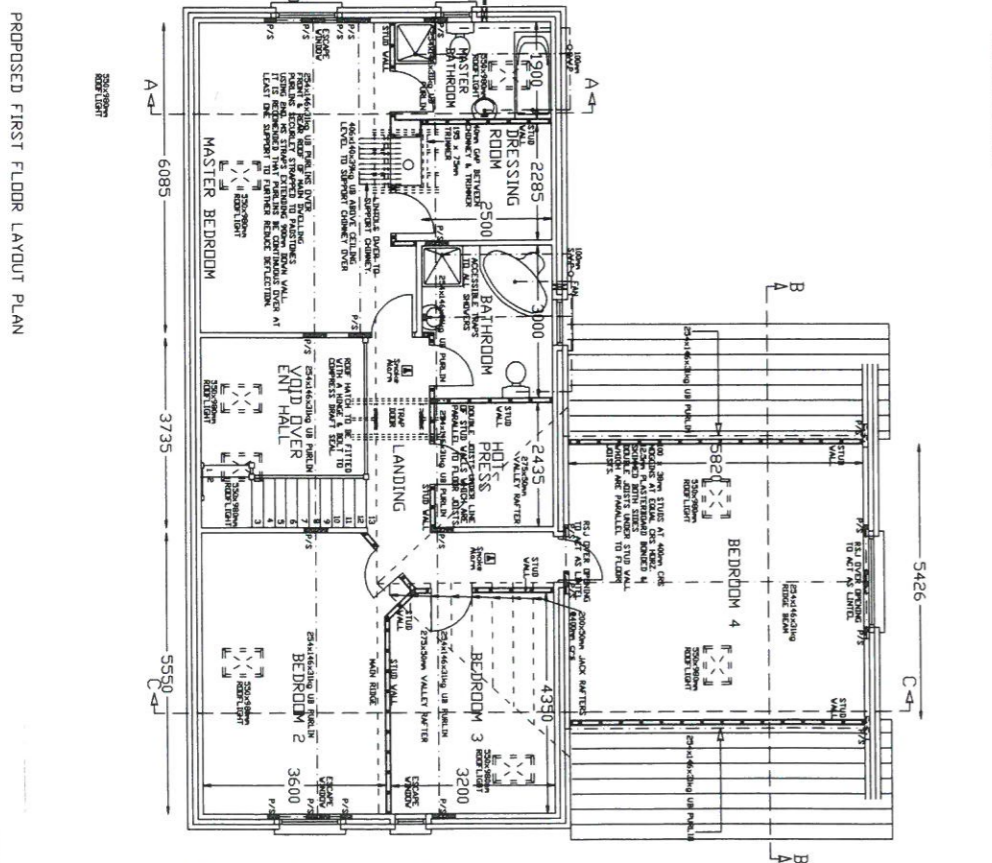
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Level Threshold Detail



PROPOSED GROUND FLOOR PLAN

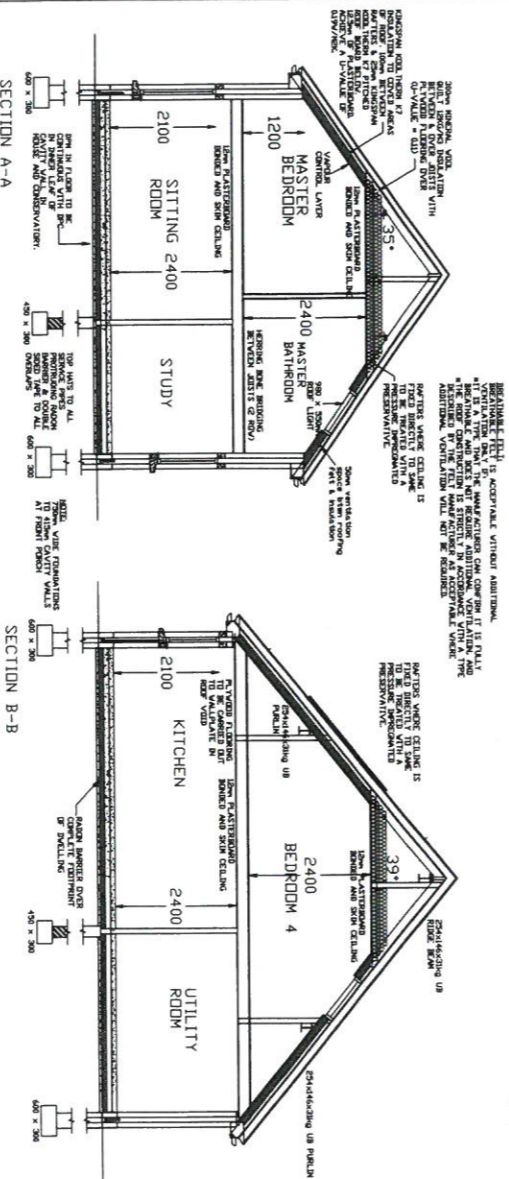


PROPOSED FIRST FLOOR LAYOUT PLAN

Approximate measurements and boundaries for identification only. Exact measurements and boundaries to be verified from site or deed.

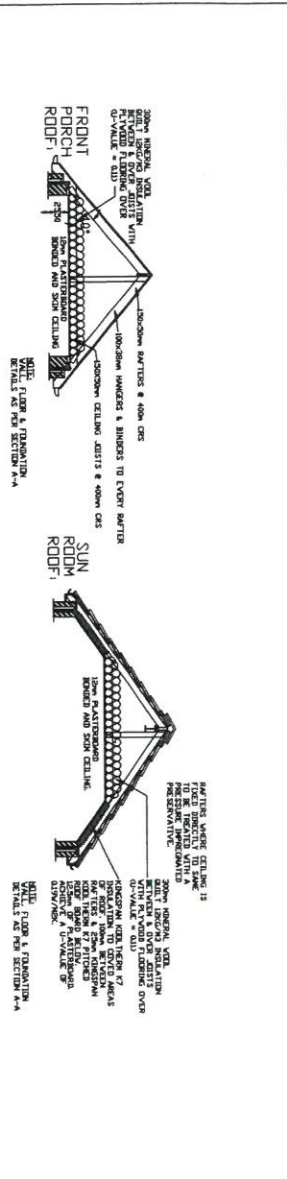
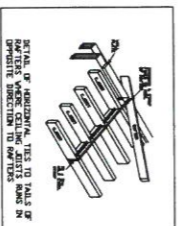
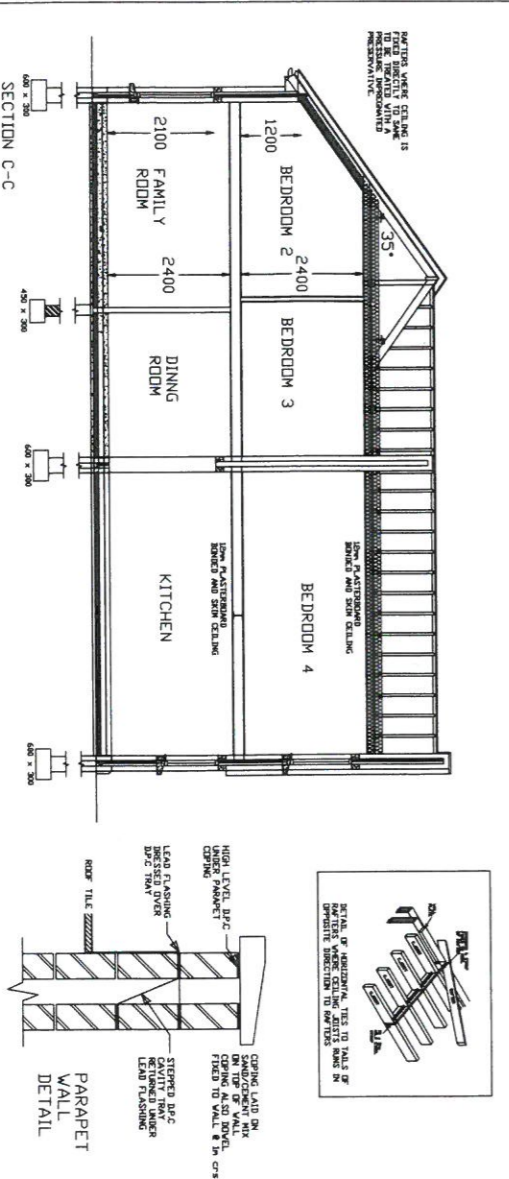
DATE: JULY 2011	AGENT: <b>SEANUS DONNELLY</b>
SCALE: 1/8" = 1'-0"	PROJECT: [REDACTED]
DWG. NO: L/288/13	NO. OF SHEETS: 08/27/2008

Approximate measurements and boundaries to be verified, finish not shown



SECTION A-A IS ACCEPTABLE WITHOUT AMENDMENT.  
IF IT IS A TYPE THAT THE MANUFACTURER HAS COMPLETED IT IS FULLY  
THE MANUFACTURER IS RESPONSIBLE FOR THE ACCURACY OF THE TYPE  
ADDITIONAL VENTILATION WILL NOT BE REQUIRED.

SECTION B-B IS ACCEPTABLE WITHOUT AMENDMENT.  
IF IT IS A TYPE THAT THE MANUFACTURER HAS COMPLETED IT IS FULLY  
THE MANUFACTURER IS RESPONSIBLE FOR THE ACCURACY OF THE TYPE  
ADDITIONAL VENTILATION WILL NOT BE REQUIRED.



**APPROXIMATE MEASUREMENTS AND BOUNDARIES TO BE VERIFIED, FINISH NOT SHOWN**

**GENERAL NOTES:**

1. All dimensions are approximate and should be verified on site.

2. The boundaries shown are approximate and should be verified on site.

3. The finish shown is approximate and should be verified on site.

**FOUNDATION:**

1. Foundations shall be constructed of concrete.

2. Foundations shall be finished with a smooth surface.

**CONCRETE:**

1. Concrete shall be placed in accordance with the specifications.

2. Concrete shall be finished with a smooth surface.

**ROOFING:**

1. Roofs shall be constructed of asphalt shingles.

2. Roofs shall be finished with a smooth surface.

**INSULATION:**

1. Insulation shall be placed in accordance with the specifications.

2. Insulation shall be finished with a smooth surface.

**WALLS:**

1. Walls shall be constructed of masonry.

2. Walls shall be finished with a smooth surface.

**FLOORS:**

1. Floors shall be constructed of concrete.

2. Floors shall be finished with a smooth surface.

**CEILING:**

1. Ceilings shall be constructed of gypsum board.

2. Ceilings shall be finished with a smooth surface.

**DOORS AND WINDOWS:**

1. Doors and windows shall be installed in accordance with the specifications.

2. Doors and windows shall be finished with a smooth surface.

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**DRAINAGE**  
 16. A DRAINAGE SHALL BE PROVIDED WHERE NECESSARY TO PREVENT WATER FROM THE ACCESS FLOWING ONTO THE PUBLIC ROAD. SIMILARLY THE EXISTING ROAD DRAINAGE MUST BE ACCOMMODATED WHERE APPROPRIATE AND MEASURES MUST BE TAKEN TO PREVENT ROAD SURFACE WATER FROM FLOWING ONTO THE ACCESS. THE APPROPRIATE DRAINAGE DETAILS MUST BE DETAILED ON THE PLAN.  
 16B. IT IS THE APPLICANT'S RESPONSIBILITY TO ENSURE THAT SURFACE WATER FROM THE ROOF OF THE DEVELOPMENT DOES NOT FLOW ONTO THE PUBLIC ROAD, INCLUDING THE FOOTWAY.  
 17. OPEN DRAINS AND OUTLETS IN THE ROAD VERGE SHALL BE PIPED TO THE SATISFACTION OF ROADS SERVICE WATERCOURSES BEHIND/IN FRONT OF A HEDGE/FENCE LINE SHALL BE PIPED TO THE SATISFACTION OF THE RIVERS AGENCY.

**GRADIENT**  
 18. GRADIENT OF THE ACCESS SHALL NOT EXCEED 1:12.5 (8%) OVER THE FIRST 5 METRES OUTSIDE THE ROAD BOUNDARY I.E. FROM THE BACK OF THE VERGE/BACK OF FOOTWAY/FENCE-LINE/EDGE OF CARRIAGEWAY.  
 19. WHERE THE VEHICULAR ACCESS CROSSES A FOOTWAY, THE ACCESS GRADIENT SHALL BE BETWEEN 4% (1:25) MAXIMUM AND 2.5% (1:40) MINIMUM AND SHALL BE FORMED SO THAT THERE IS NO ABRUPT CHANGE OF SLOPE ALONG THE FOOTWAY.

**PARKING/TURNING**  
 9. THE REQUIRED VEHICLE PARKING AND TURNING AREAS TO BE PROVIDED WITHIN THE CARTRIDGE OF THE SITE. PROVISION MUST BE MADE FOR VEHICLES TO REVERSE AND EXIT IN FORWARD GEAR.  
**VISIBILITY SPLAYS**  
 12. VISIBILITY SPLAYS MUST BE RETAINED IN PERPETUITY.

**VISIBILITY SPLAYS**  
 13. THE AREA WITHIN THE VISIBILITY SPLAY SHALL BE CLEARED TO PROVIDE A LEVEL SURFACE NO HIGHER THAN 250MM ABOVE THE LEVEL OF THE ADJOINING CARRIAGEWAY AND SHALL BE RETAINED AND KEPT CLEAR THEREAFTER.  
**POLES / COLUMNS**  
 14. ANY POLE OR COLUMN MATERIALLY AFFECTING VISIBILITY MUST ALSO BE REMOVED. A MAXIMUM OF 1 NO POLE OR COLUMN IS ACCEPTABLE IN EACH VISIBILITY SPLAY. THE COST OF REMOVING COLUMNS/POLES IS BORNE BY THE APPLICANT. NO WORK SHALL COMMENCE ON SITE UNTIL THE VISIBILITY SPLAYS HAVE BEEN PROVIDED.

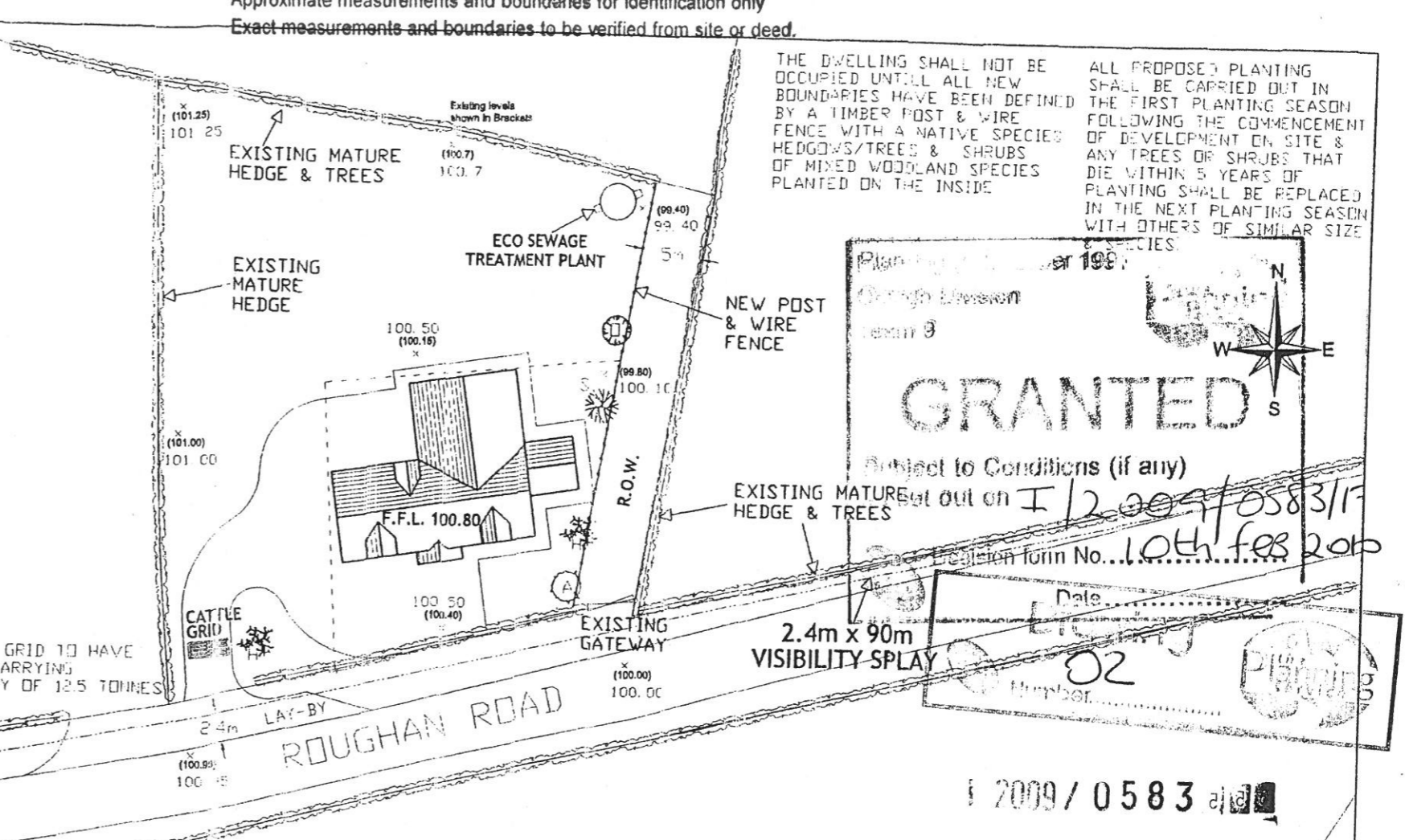
**DRIVEWAY WIDTH**  
 22. MINIMUM WIDTH 3.2M. MAXIMUM 5.0M.  
**VISIBILITY SPLAYS ACROSS EXISTING FOOTWAY**  
 23. THE FOOTWAY SHALL BE EXTENDED TO THE REAR OF THE VISIBILITY SPLAYS AND A BACKING KERB PROVIDED. THE EXTENSION MUST USE THE SAME MATERIAL (BITMAC/ASPHALT) USED IN THE CONSTRUCTION OF THE FOOTWAY.  
 24. ANY EXISTING ACCESS SHALL BE CLOSED WITHIN 4 WEEKS OF NEW ACCESS OPENING.  
**TRUNK ROADS-DWELL AREA**  
 25. WHERE THE ACCESS IS ABOVE THE PUBLIC ROAD, THE ACCESS GRADIENT FOR THE 1st 15M IMMEDIATELY ADJACENT TO A TRUNK ROAD SHALL BE BETWEEN 0 & 2%.

**PROPOSED DWELLING ADJACENT TO 7 ROUGHAN ROAD, STEWARTSTOWN FOR MR**  
 Approximate measurements and boundaries for identification only  
 Exact measurements and boundaries to be verified from site or deed.

**DATE: OCTOBER 2009**  
**SCALE: 1:500**  
**DRG No: 1/386/02**

**AGENT - SEAMUS DONNELLY** MCIA  
 80A MOUNTJOY ROAD, AUGHINDERG, COALISLAND  
 TEL & FAX (029) 87748481

Approximate measurements and boundaries for identification only  
 Exact measurements and boundaries to be verified from site or deed.



**Site Plan**

KEY		
TREE	SYMBOL	NUMBER
OAK	O	
ASH	A	
SCYAMORE	S	
HOLLY	H	

TREES TO BE 10-12cm & 14-15cm GIRTH

**NATIVE TREES TO BE PLANTED**  
 ASH, SCYAMORE, SILVER BIRCH AND HOLLY.

ALL PROPOSED PLANTING SHALL BE CARRIED OUT IN THE FIRST PLANTING SEASON FOLLOWING THE COMMENCEMENT OF DEVELOPMENT ON SITE & ANY TREES OR SHRUBS THAT DIE WITHIN 5 YEARS OF PLANTING SHALL BE REPLACED IN THE NEXT PLANTING SEASON WITH OTHERS OF SIMILAR SIZE & SPECIES

**GATES/SECURITY BARRIERS**  
 20. ENTRANCE GATES, WHERE ERECTED, SHOULD BE SITED AT LEAST 5 METRES FROM THE EDGE OF THE CARRIAGEWAY WHERE THIS IS NOT POSSIBLE, THEY SHALL BE SITED SO THAT WHEN OPEN THEY DO NOT PROJECT OVER THE FOOTWAY, VERGE, OR CARRIAGEWAY.  
 21. IN THE CASE OF INDUSTRIAL PREMISES OR OTHER MAJOR ACCESSES, GATES OR SECURITY BARRIERS SHALL BE LOCATED AT A DISTANCE FROM THE EDGE OF THE CARRIAGEWAY THAT WILL ALLOW THE LARGEST VEHICLE LIKELY TO USE THE ACCESS TO STOP CLEAR OF THE CARRIAGEWAY WHEN THE GATES / BARRIER ARE CLOSED.

**SURFACE MATERIAL**  
 26. ENTRANCES/LAY-BYS SHALL BE SURFACED IN BITMAC/ASPHALT BETWEEN THE EDGE OF THE PUBLIC ROAD AND A JOINT IN LINE WITH THE CENTRE LINE OF THE EXISTING HEDGE/FENCE/WALL ETC.  
**DROPPED KERBS**  
 27. KERBS SHALL BE DROPPED OVER A DISTANCE OF 6 METRES ACROSS THE MOUTH OF THE ENTRANCE.

**SEPTIC TANKS**  
 28. POSITION OF SEPTIC TANKS TO BE SHOWN. DRAINAGE MUST NOT BE DISCHARGED DIRECTLY TOWARDS THE PUBLIC ROAD OR INTO ANY DRAIN LEADING TO THE PUBLIC ROAD.  
**ACCESS ACROSS FOOTWAY/VERGE, ETC.**  
 29. ROADS SERVICE HAS NO OBJECTION TO ACCESS ACROSS A ROADSIDE VERGE/FOOTWAY THE ONLY EXCEPTION TO THIS IS WHERE AN ACCESS INTO A PUBLIC CAR PARK, IN THIS PARTICULAR CASE A LEGAL AGREEMENT (TOGETHER WITH PAYMENT) MUST BE ENTERED INTO WITH ROADS SERVICE PRIOR TO FULL/RESERVED MATTERS PLANNING PERMISSION BEING RECOMMENDED. APART FROM CAR-PARKS THERE IS NO NON REFUNDABLE CHARGE FOR COSTING A VERGE/FOOTWAY

**DISABLED PARKING**  
 30. A MINIMUM OF ONE DISABLED PARKING SPACE SHALL BE PROVIDED CLOSE TO THE ENTRANCE OVER 25SPACES 1/25.  
 31. THE APPLICANT IS REQUIRED UNDER THE ROADS (INDOOR) 1993 TO BE IN POSSESSION OF THE DEPARTMENT'S CONSENT BEFORE ANY WORK COMMENCES WHICH INVOLVES OPENINGS TO ANY FENCE/HEDGE/WALL ETC. BOUNDING THE FRONT OF THE SITE. THE CONSENT IS AVAILABLE FROM YOUR AREA ROADS SERVICE OFFICE. A DEPOSIT WILL BE REQUIRED.

32. PLANT VISIBILITY SPLAY/FORWARD SIGHT DISTANCE WITH GROUND COVERING SHRUBS E.G. ERICA CARNEA WHITEHALL-MATURE HEIGHT 150MM OR OTHER SHRUBS WITH A MAXIMUM MATURE HEIGHT OF UP TO 15MM SEE POINT 31 OF DCAN 15 FOR GUIDELINES ON FORWARD SIGHT DISTANCE (DOCUMENT AVAILABLE FROM PLANNING SERVICE)

THE DWELLING SHALL NOT BE OCCUPIED UNTIL ALL NEW BOUNDARIES HAVE BEEN DEFINED BY A TIMBER POST & WIRE FENCE WITH A NATIVE SPECIES HEDGOWS/TREES & SHRUBS OF MIXED WOODLAND SPECIES PLANTED ON THE INSIDE.  
 ALL PROPOSED PLANTING SHALL BE CARRIED OUT IN THE FIRST PLANTING SEASON FOLLOWING THE COMMENCEMENT OF DEVELOPMENT ON SITE & ANY TREES OR SHRUBS THAT DIE WITHIN 5 YEARS OF PLANTING SHALL BE REPLACED IN THE NEXT PLANTING SEASON WITH OTHERS OF SIMILAR SIZE & SPECIES.

Plan No. 1/386/02 of 1997  
 Date 10th Feb 2010  
**GRANTED**  
 Subject to Conditions (if any)  
 Out on 1/2009/0583/1  
 Application Form No. 10th Feb 2010  
 Date  
 02  
 Number

2009/0583